

Samphire

Land release one



Ashbury
ANOTHER DENNIS FAMILY COMMUNITY

The Samphire land release one offers a premier choice of land from 400m² to 462m².

Discover a warm and well-connected community, with a diverse range of established amenities nearby.

Just metres away you'll find a pocket reserve and a stroll down the street brings you to the beautifully landscaped Ashbury Boulevard Reserve, which includes a playground, sheltered BBQ area, and a half-basketball court.

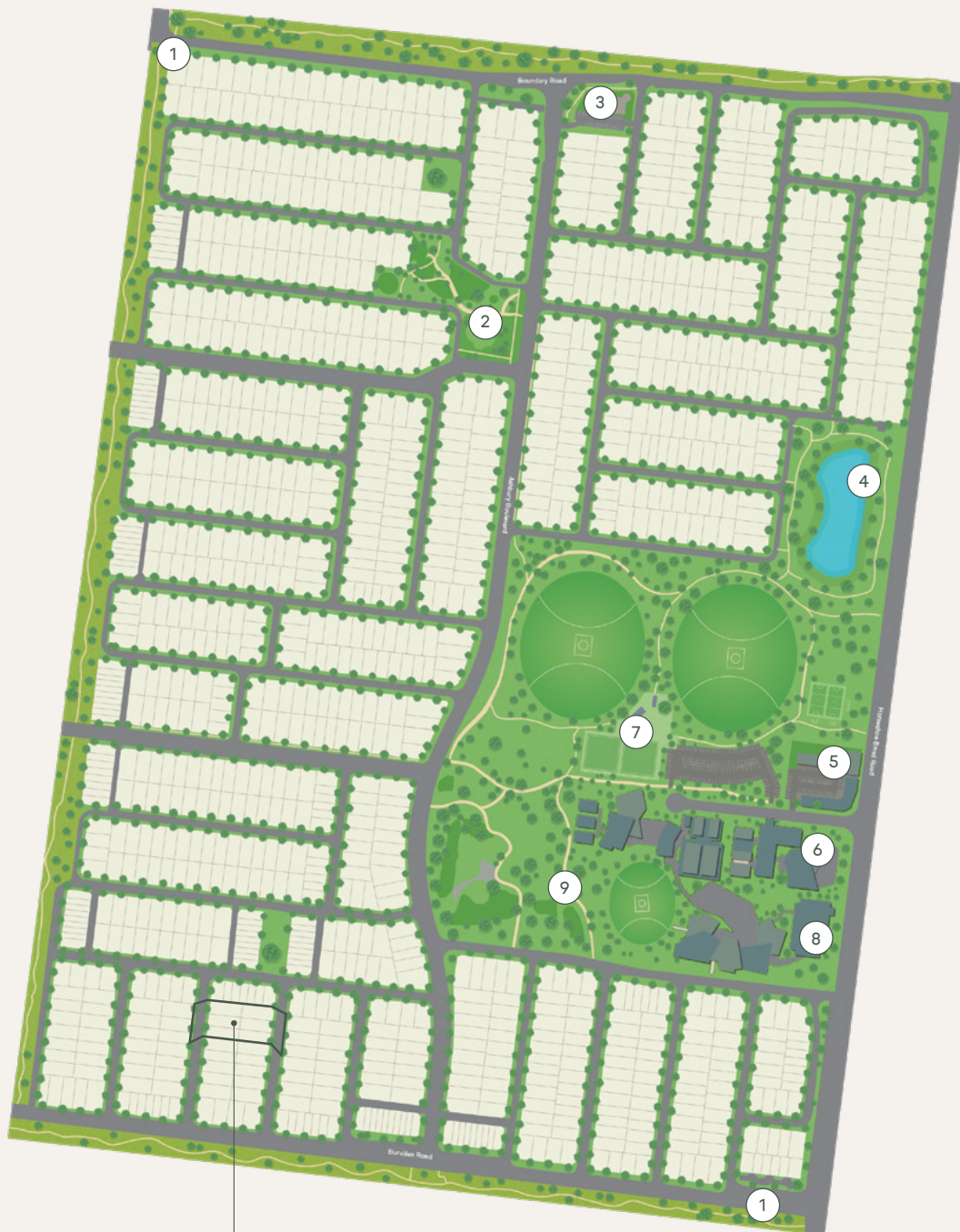
A short drive brings you to nearby shopping and retail centres, educational facilities, and every modern convenience you may need.

With a local retail centre and childcare facility already under construction, and a future school and community centre planned nearby, Ashbury is a community created to bring life's everyday essentials close to you.



Ashbury Masterplan

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| 1 Future nature paths, shared walking paths, and bicycle paths | 7 Future Active Open Space with; cricket / football ovals, cricket nets, lawn bowl greens, netball courts, and a pavilion | ← Armstrong Creek Town Centre Approx 1km |
| 2 Northern Reserve Playground and conservation reserve | 8 Future Primary School | ↑ Iona College Approx 500m |
| 3 Sales Office | 9 Ashbury Boulevard Reserve with; shelter, BBQ and picnic area, playground, and fitness zone | ↓ Geelong Lutheran College Approx 1km |
| 4 Horseshoe Bend Road Wetlands | | |
| 5 Future Retail | | |
| 6 Future Community Centre | | |



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Call 1300 303 460
Visit ashburyestate.com.au



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