

ASHBURY - STAGE 32

DENNIS FAMILY CORPORATION

CITY OF GREATER GEELONG

CONSTRUCTION NOTES

SITE MANAGEMENT

- A1. Prior to commencement of works on site, the contractor must ensure that all matters relating to the Occupational Health & Safety Act 2004, including all relevant regulations, have been addressed. In particular, the required notifications must be conveyed to the Victorian Workcover Authority - Health & Safety division with respect to trenching operations. Details of the contractors occupational health & safety procedures must be lodged with the superintendent prior to commencement of works.
- A2. All native trees & shrubs to be retained unless road construction necessitates their removal or removal is directed by the engineer. A town planning permit is required for the removal of native trees & / or vegetation. The removal or retention of any existing trees must be in accordance with the approved landscape plan, or else approval will be required from the City of Greater Geelong landscape approvals officer.
- A3. Existing dam or watercourses to be excavated to a firm base & backfilled as specified. Consulting engineer to be notified when the dam or watercourses are excavated to a firm base. No filling is to be placed prior to dams being inspected & levels taken. Backfilling is to be carried out to the satisfaction of the Council supervising engineer.
- A4. Prior to commencement of works, the contractor must submit a Site Management Plan (SMP) to the consultant for approval. The contractor must comply with the recommendations of the Environment Protection Authority publication No.275 "Construction techniques for sediment pollution control". Appropriate siltation control is to be maintained throughout the construction & maintenance period of the works.
- A5. Provide temporary safety barrier fence (Farm Fence as per MW Std Dwg 7251/4/203) along extent of outfall drain where the drain is greater than 1.5m in depth & side slopes are steeper than 1 in 3. Safety fence to remain until permanent underground drainage is installed.

GENERAL

1. All works are to be carried out in accordance with the Infrastructure Design Manual (IDM) and the City of Greater Geelong standard drawings and specifications and to the satisfaction of the municipal engineer or their appointed representative.
2. The location of existing services should be determined by the contractor prior to commencing any excavation by contacting all local service authorities. Any existing services shown on the drawings are offered as a guide only and are not guaranteed as correct.
3. No excavation shall be carried out within the drip line or minimum of 5.00m radius of any existing tree and approval must be obtained from the council before any excavation commence.
4. All nature strips and excavated or filled areas outside the road reserves shall be surfaced with a 100mm layer of topsoil as specified and all exposed surfaces to be hydromulched.
5. All allotments shall be smoothed, graded and shaped to an even surface with a minimum fall of 1 in 150 along the low boundary to the drainage outlet shown.
6. Unless otherwise specified or detailed, all easement drains are to be constructed to an offset of 1.0m from the allotment boundary.
7. All kerb return radii are to lip of kerb unless otherwise specified.
8. All house drain connections are to be located no closer than 6.0m (for a 4.0m wide driveway) or 5.3m (for a 3.3m wide driveway) from the side boundary or from any easement along the side boundary. All property inlets to be located at 1.0m offset from the low side boundary unless otherwise specified.
9. All drainage easement pipelines are to be laid with the minimum cover as specified in the IDM, and with sufficient depth to construct the property inlet pit and connection. the inlet pits are to be constructed (installed) at the back of the lots, as per the SD-520 and AS shown on the drawing 1600047-19-002.
(a) pit is to be an approved plastic pit.
(b) property inlet is to be connected to the (150mm) down pipe between the top of drainage pipe and the bottom of the plastic pit.
10. The contractor shall to the satisfaction of the superintendent and the municipal engineer provide and maintain all necessary warning signage, lighting and barricading to comply with the requirements of the road management act 2004 in addition to the Vicroads worksite traffic management code of practice.
11. All concrete to be used in the contract works shall develop a minimum compressive strength of 32MPa at 28 days.
12. The contractor to erect street name signs and galvanised iron posts as directed by the superintendent and provide the provision of a sleeve.
13. Kerb types to be used as specified in accordance with the IDM standard drawings. Kerb cement content - concrete for kerb extrusion machines to have a minimum cement content of 280 Kg/m³. Transitions between different types to be over 3.0m, if it cannot be achieved at a pram crossing or driveway crossover.
14. Blasting requires the written approval of Council.
15. The contractor is to obtain the necessary road opening permit prior to undertaking any works within a previously constructed roadway.
16. All residential footpaths to be a minimum of 1.50m wide.
17. All trenching of depth 1.5m or greater must comply with worksafe Victoria requirements.
a "safe work method statement" must be developed before any trenching works commences.
a "notice of intention to commence excavation operations in trenches, shafts and tunnels" must be submitted to worksafe Victoria at least 3 days before the work starts. The form shall be lodged at or faxed to the Geelong worksafe office. (fax 03 5221 7861)
18. Crushed rock for pavements shall be compacted to the average mean modified dry densities (mmdd) as shown below:
Collector Street:
- base - 100%.
- sub-base- 98%.
Access Street:
- base - 98%.
- sub-base- 97%.

19. All pipes under roads shall be backfilled with 2% cement stabilised sand to extend from the bottom of the pipe to the springline (mid-point) of the pipe and from the springline to subgrade/sub-base level the trench to be backfilled with size 20mm, class 3 fcr, and compacted to achieve 98% modified density ratio.
- Beneath the road pavement or driveway crossover to the underside of the pavement or crossover.
- Adjacent to kerbing or concrete works to a level that is not affected by a 45 degree angle of repose from the near lower edge.
20. Earth fill is to be compacted to a relative compaction compared to a standard compaction test as specified by vicroads of-
- 100% for all fill material under fill that is less than 400mm from the surface.
- 95% for all fill not covered as above.
21. The subgrade below all pavements shall be compacted to a minimum standard dry density ratio of 98% and minimum moisture ratio of 90% (standard) to a minimum depth of 150mm below subgrade level.
22. Structural fill to in accordance with Douglas Partners geotech report to be approved by the superintendent prior to use.
23. TBM's to be maintained and protected by contractor for the duration of the works.
24. All drainage pipes to be reinforced concrete class 2 unless noted otherwise.
25. All drainage pipes are to be rubber ring jointed, unless with written approval of Council.
26. Filling on lots greater than 200mm (as shown by appropriate hatching) to be placed by contractor under Level One (1) supervision in accordance with AS.3798, 2007. all results to be forwarded to the superintendent for approval.
27. All levels shown are to A.H.D.
28. Tactile Ground Surface Indicators (TGSi) are to be installed at nominated pram crossings and pedestrian cross points in accordance with AS 1428.

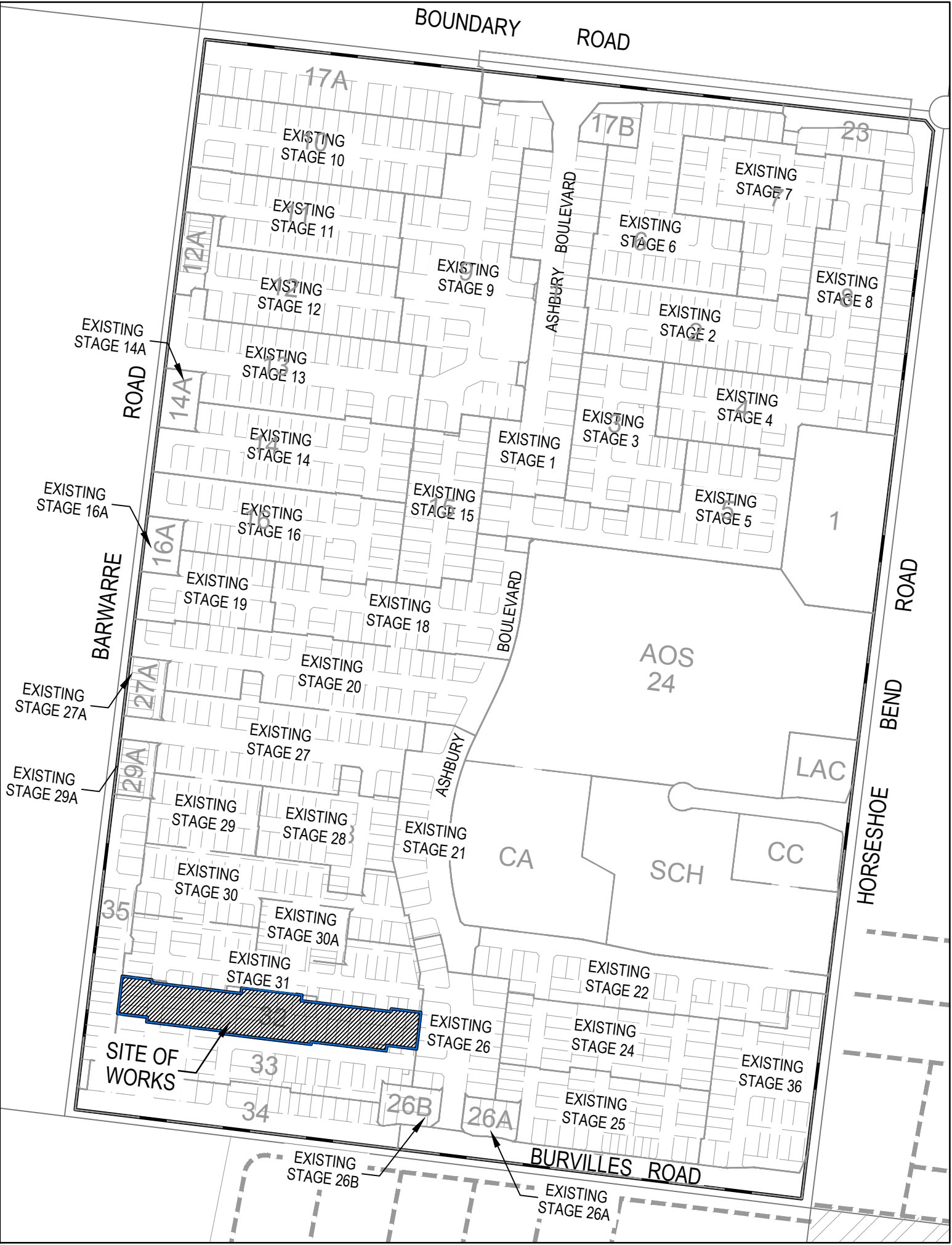
DRAWING INDEX

DRAWING No.	TITLE
1600047-32-001	COVER SHEET
1600047-32-002	TYPICAL ROAD CROSS SECTIONS
1600047-32-003	PAVEMENT MAKEUP & GENERAL DETAILS
1600047-32-010	LAYOUT PLAN SHEET 1 OF 2
1600047-32-011	LAYOUT PLAN SHEET 2 OF 2
1600047-32-100	GILLIESTON STREET LONGITUDINAL SECTIONS
1600047-32-101	DARWIN AVENUE LONGITUDINAL SECTIONS
1600047-32-102	ELMSHURST STREET LONGITUDINAL SECTIONS
1600047-32-103	DEEPWATER AVENUE LONGITUDINAL SECTIONS
1600047-32-200	GILLIESTON STREET CROSS SECTIONS SHEET 1 OF 2
1600047-32-201	GILLIESTON STREET CROSS SECTIONS SHEET 2 OF 2
1600047-32-202	DARWIN AVENUE CROSS SECTIONS SHEET 1 OF 2
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1600047-32-206	DEEPWATER AVENUE CROSS SECTIONS SHEET 1 OF 2
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1600047-32-350	SIGNAGE & LINE MARKING PLANS SHEET 1 OF 2
1600047-32-351	SIGNAGE & LINE MARKING PLANS SHEET 2 OF 2
1600047-32-400	DRAINAGE LONGITUDINAL SECTIONS SHEET 1 OF 2
1600047-32-401	DRAINAGE LONGITUDINAL SECTIONS SHEET 2 OF 2
1600047-32-402	PIT SCHEDULE
1600047-32-450	PLAN OF SUBDIVISION SHEET 1 OF 2
1600047-32-451	PLAN OF SUBDIVISION SHEET 2 OF 2

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 1 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

NOTE: THIS IS NOT A BUILDING APPROVAL



SITE PLAN
NOT TO SCALE
MELWAY REF: 479 K1

ISSUED FOR
CONSTRUCTION

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P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	RC															
P4	AMENDED PAVEMENT DETAIL	03.06.24	LR	RC															
P3	AMENDED STAGE BOUNDARY	31.05.23	LR	RC															
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P1	ISSUED FOR INFORMATION	14.02.23	GS	RC															
REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP										

ASHBURY
ARMSTRONG CREEK



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Date	14.02.2023
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
Date	14.02.2023
PS Number	-

BW Beveridge Williams
Development & Infrastructure Consultants

Level 1 /122 Yarra St
Geelong VIC 3220

ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details
ASHBURY ESTATE
STAGE 32
CITY OF GREATER GEELONG

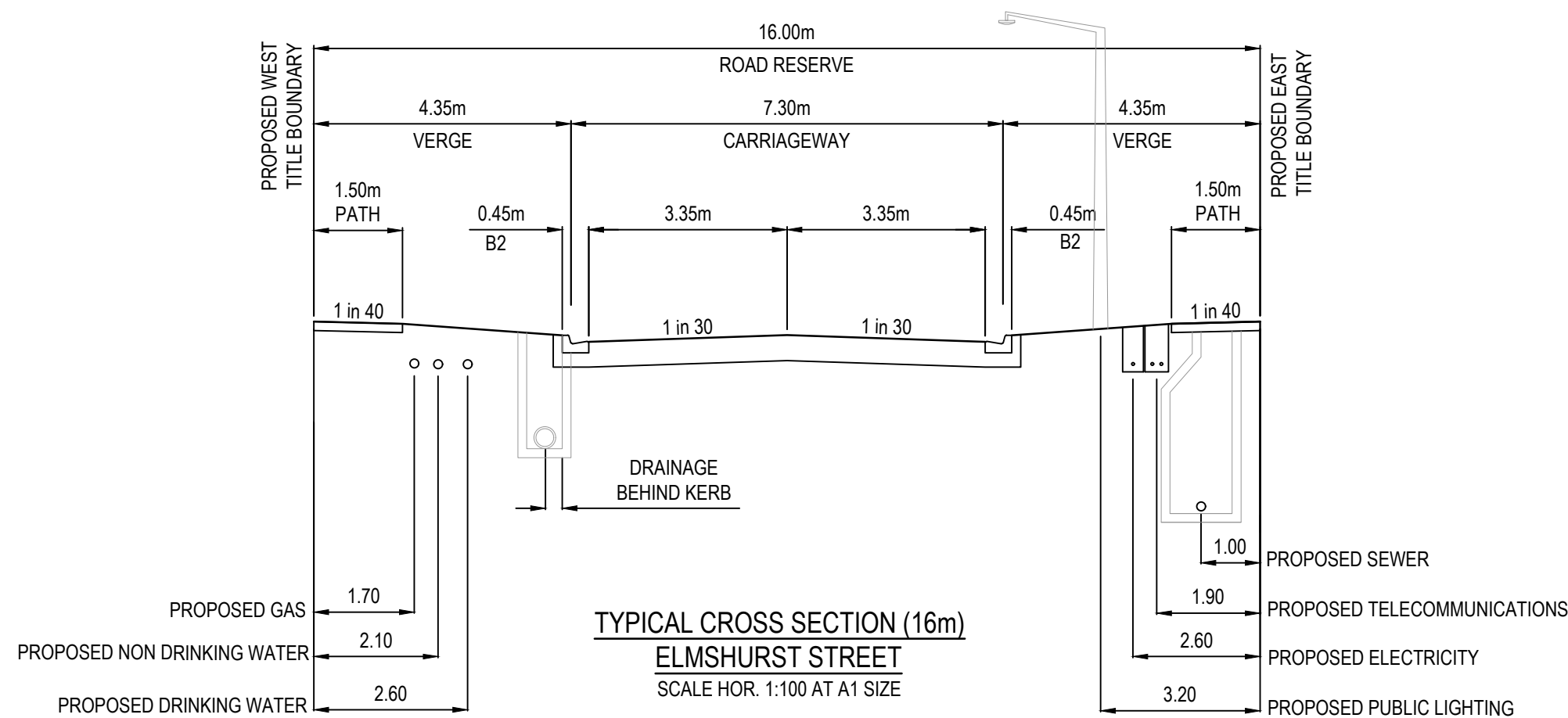
Drawing Title
COVER SHEET

Sheet 01 of 24

Scale
NOT TO SCALE

Project Ref	Stage No	Drawing No	Rev
1600047	32	001	P5

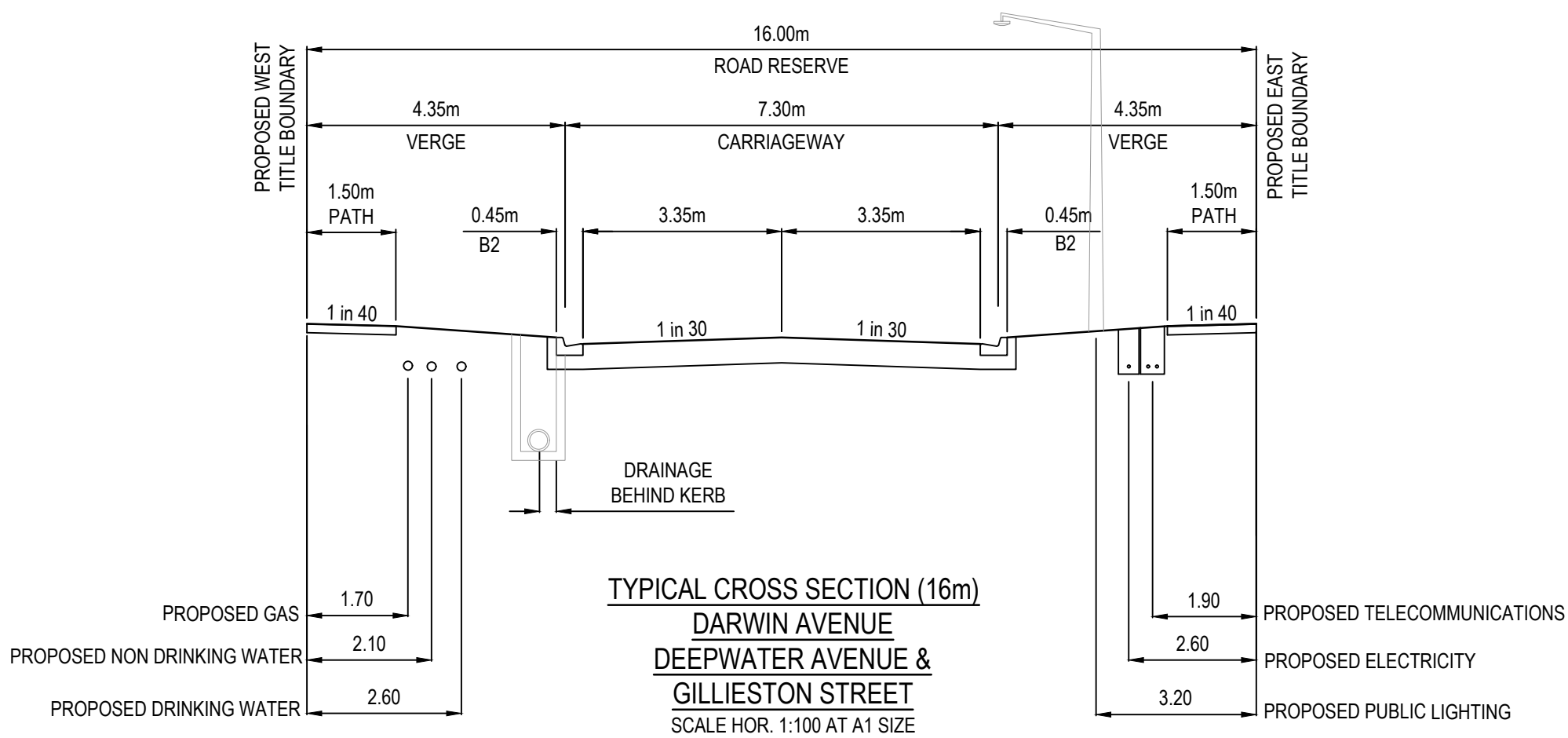




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Checked Date	R.CROSS 14.02.2023
Approved Reg. No. Date	R.CROSS PE0005562 14.02.2023
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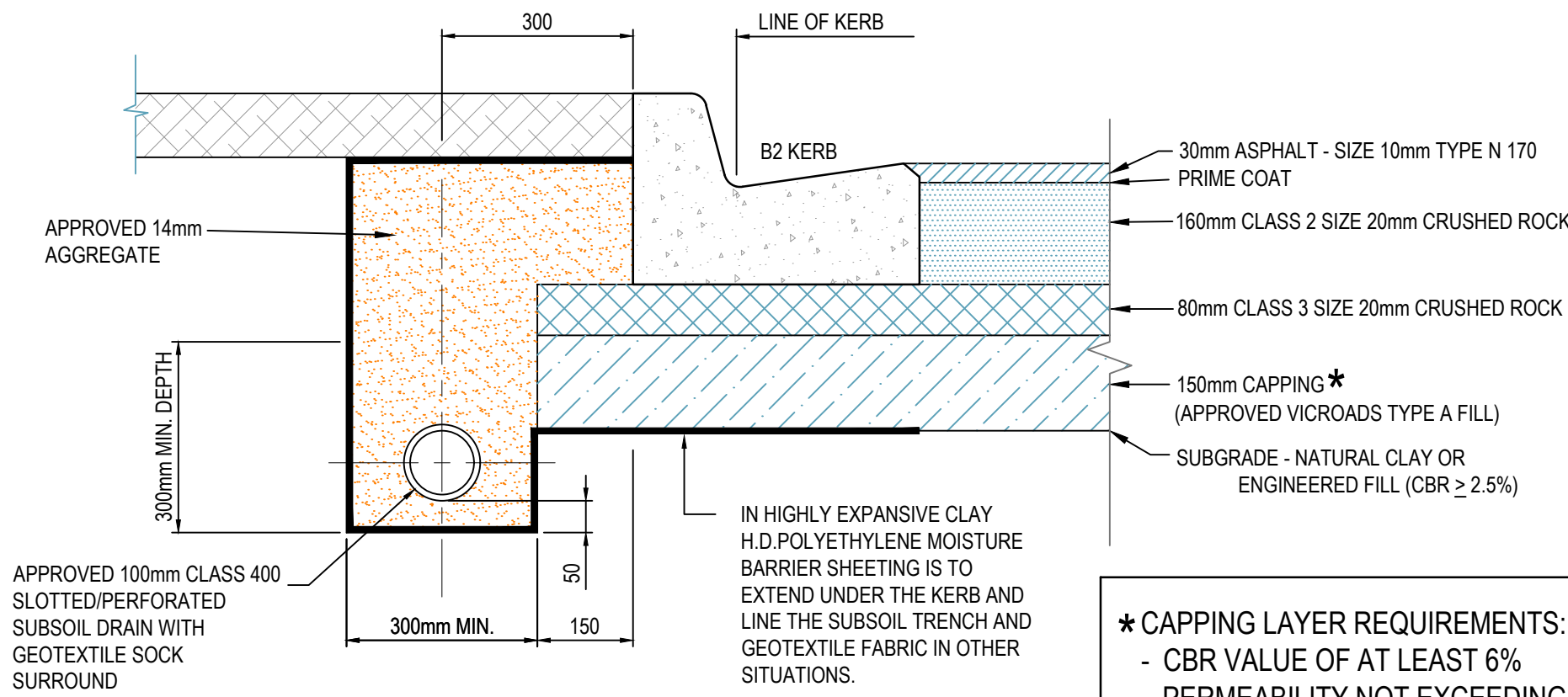
Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	TYPICAL ROAD CROSS SECTIONS

Sheet 02 of 24

AS SHOWN

Project Ref	Stage No	Drawing No	Rev
1600047	32	002	P5

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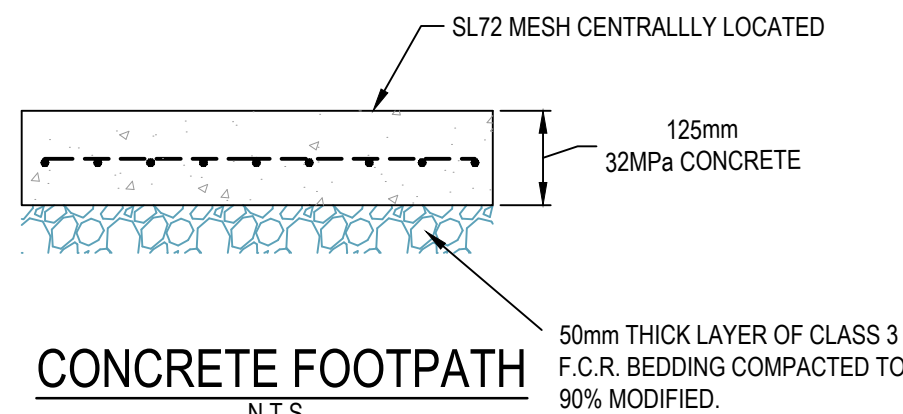
DEEPWATER AVENUE,
DARWIN AVENUE, ELMSHURST STREET &
GILLIESTON STREET
420mm PAVEMENT COMPOSITION
N.T.S.

- * CAPPING LAYER REQUIREMENTS:**
- CBR VALUE OF AT LEAST 6%
 - PERMEABILITY NOT EXCEEDING 5×10^{-9} m/s WHEN MOULDED TO 98% STANDARD OPTIMUM MOISTURE CONTENT
 - MAX CBR SWELL 1%

SUBGRADE IMPROVEMENTS
WHERE EXISTING MATERIAL IS UNSUITABLE FOR USE AS PAVEMENT SUBGRADE, AT THE INSTRUCTION OF THE SUPERINTENDENT, CONTRACTOR TO EITHER;

1. STABILISE INSITU MATERIAL WITH 4% LIME UP TO 450mm DEPTH OR;
2. REMOVE ADDITIONAL 300mm DEPTH INSITU MATERIAL AND REPLACE WITH TYPE A MATERIAL MEETING THE FOLLOWING MATERIAL: CBR $\geq 15\%$, SWELL $\leq 1.5\%$, PERMEABILITY $k \leq 5 \times 10^{-9}$ m/s (5×10^{-7} cm/s) COMPACTED TO A MINIMUM DENSITY OF RATIO 98% (STANDARD) AS1289.5.1.1.

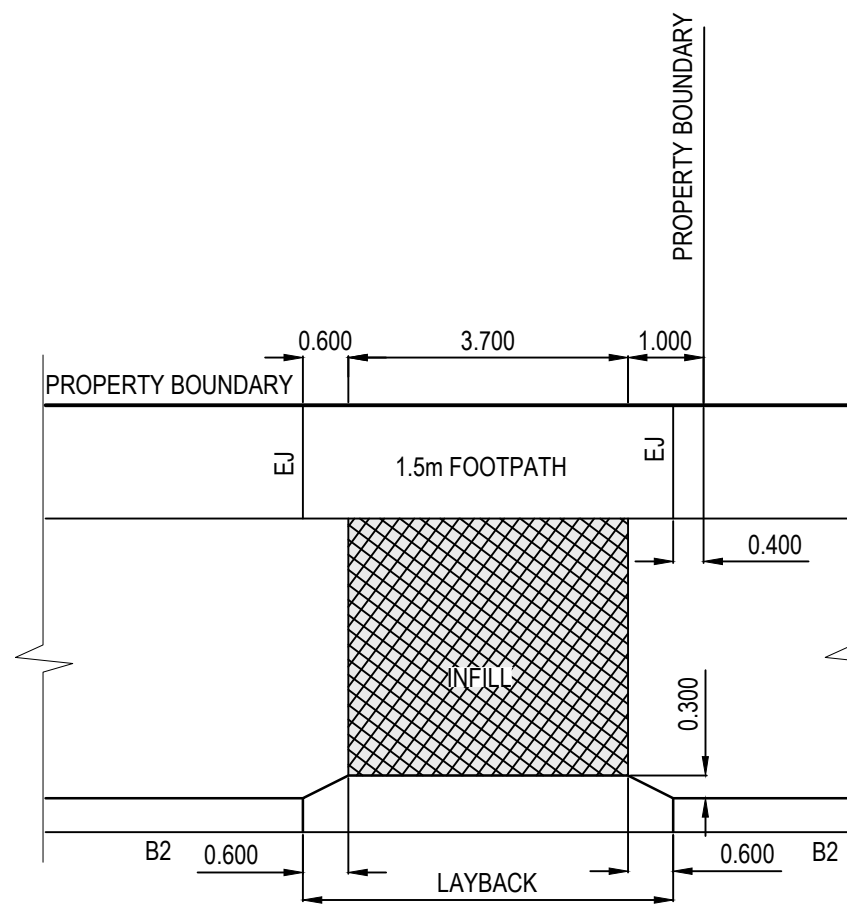
SUBSOIL DRAIN TO BE LOWERED ACCORDINGLY.



CONCRETE FOOTPATH
N.T.S.

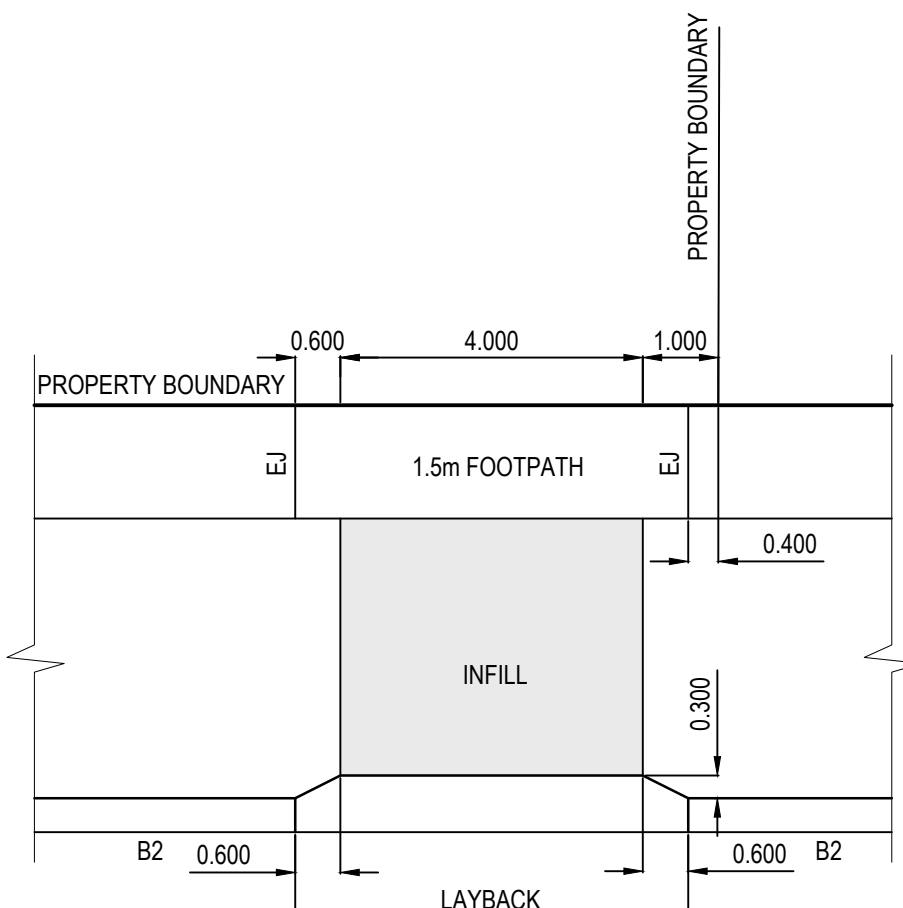
NOTE:
EXPANSION JOINTS AND TOOLED JOINTS TO BE PROVIDED AS PER THE REQUIREMENTS OF IDM STANDARD DRAWING SD205 & SD210.

Lot	VC Width	VC Offset
FUT LOT 10	3.7m	1.0m



NON-STANDARD VEHICLE CROSSING

NOTE:
STRICTLY FOR LOTS WITH FRONTAGE LESS THAN 12.5m.

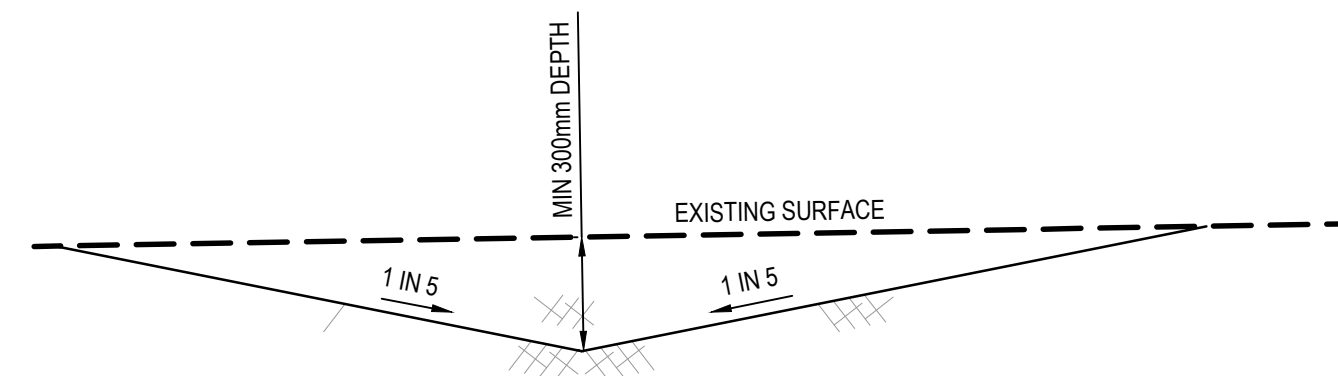


STANDARD VEHICLE CROSSING

TYPICAL SINGLE VEHICLE CROSSINGS

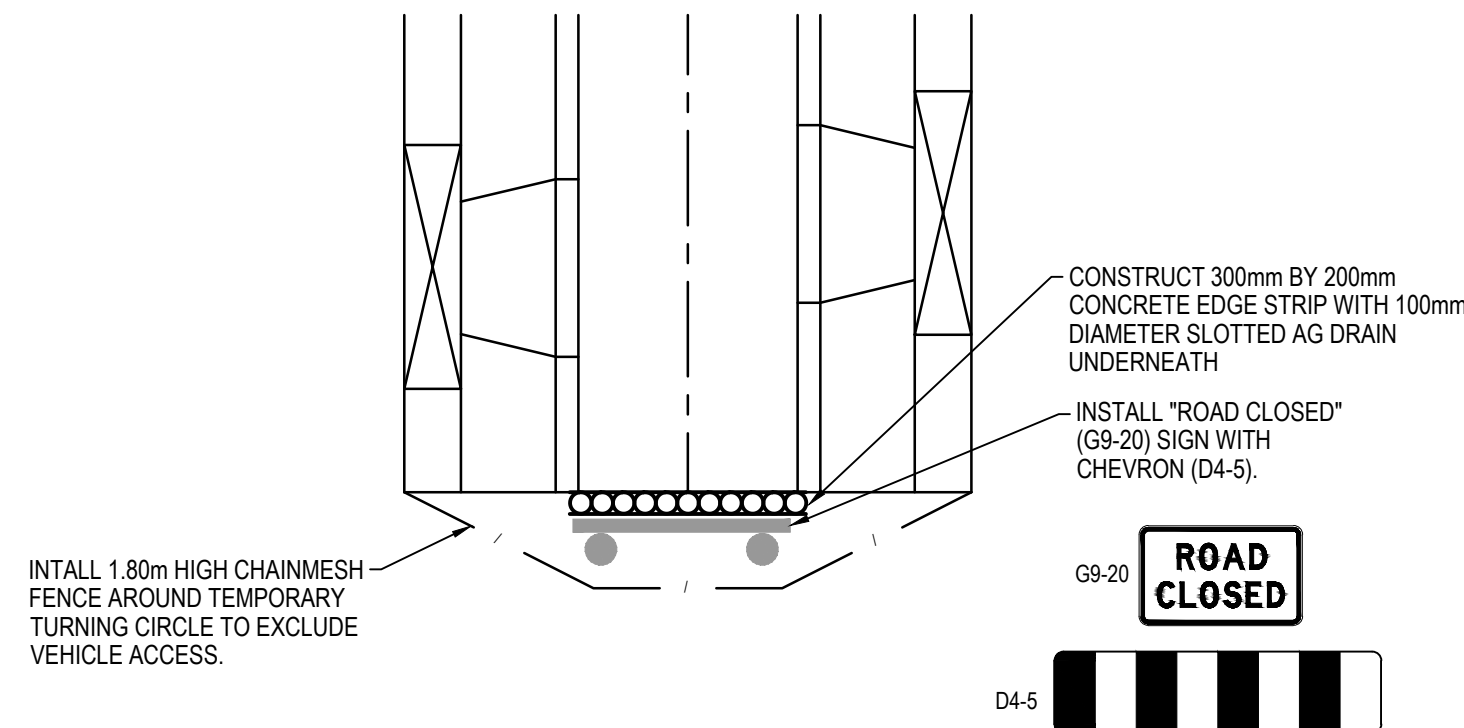
N.T.S.

NOTE: WHERE ADJACENT VEHICLE CROSSINGS ARE LOCATED ON EACH SIDE OF A PROPERTY THE LAYOUT IS 2 No SINGLE CROSSINGS WITH A 800mm LENGTH OF B2 KERB BETWEEN THE TAPERS UNLESS OTHERWISE SPECIFIED.

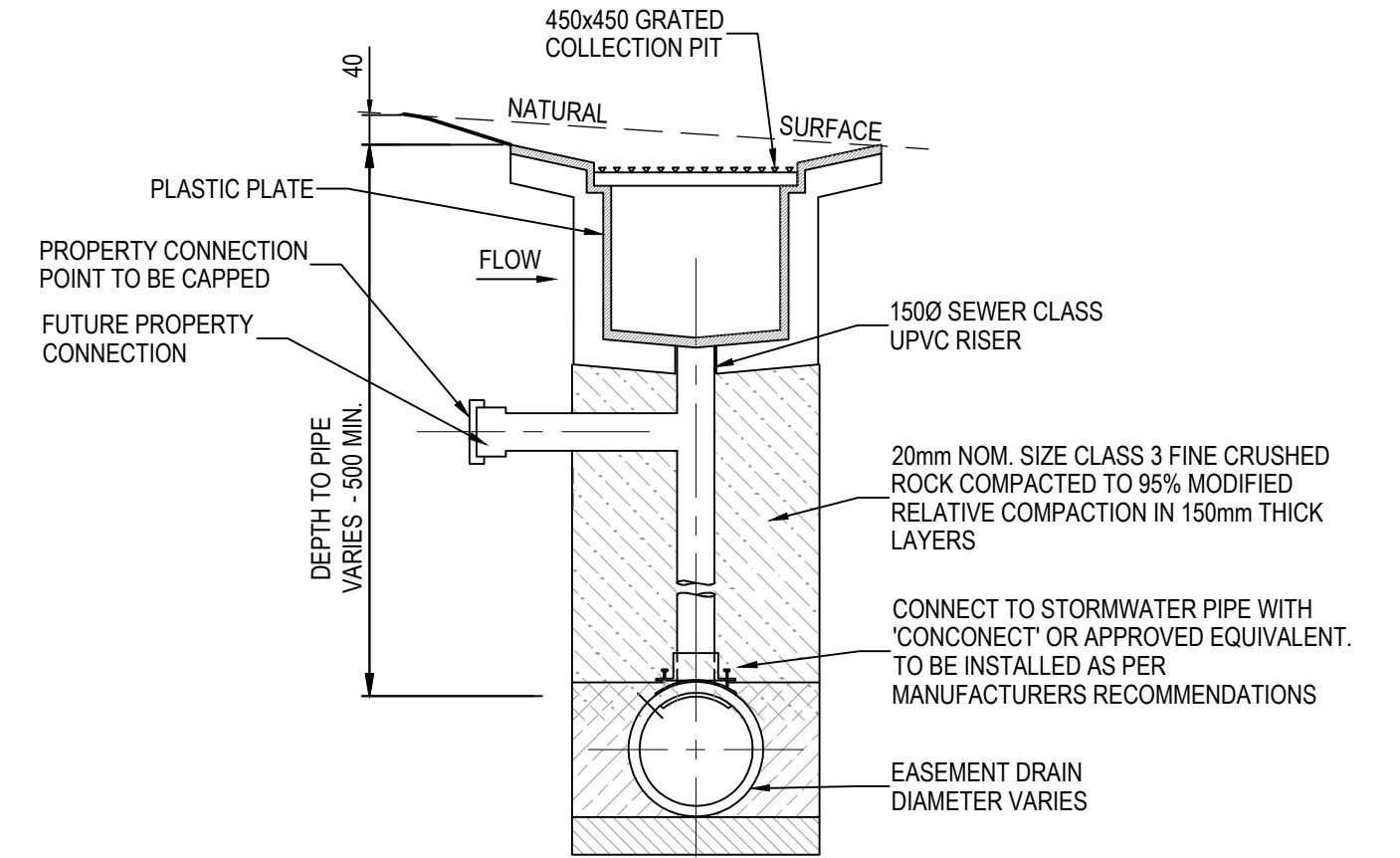


TYPICAL SECTION OF TEMPORARY SWALE
N.T.S.

NOTE:
MINIMUM LONGITUDINAL GRADE OF 1 IN 300.
TEMPORARY SWALE TO BE CONSTRUCTED WITH ENVIRONMENTAL CONTROLS, SAFE BATTERS & FENCING, IF REQUIRED.



TEMPORARY TURN AREA DETAIL
NOT TO SCALE

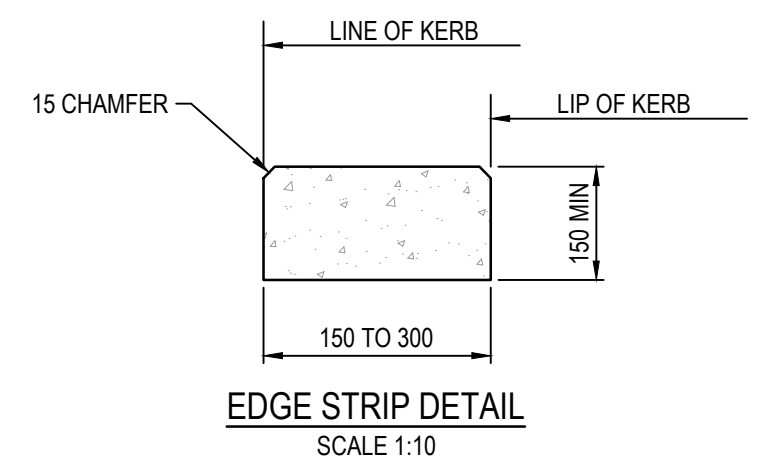
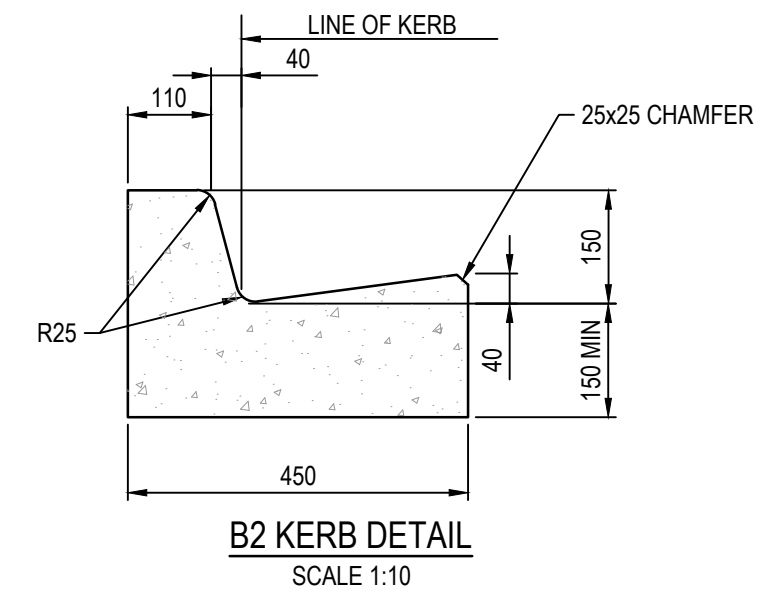


PROPERTY INLET PIT
N.T.S.

GREATER GEELONG CITY COUNCIL
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TYPICAL KERB PROFILES

NOTE:
FOR FURTHER DETAILS AND ADDITIONAL NOTES, REFER TO IDM STANDARD DRAWING SD100.

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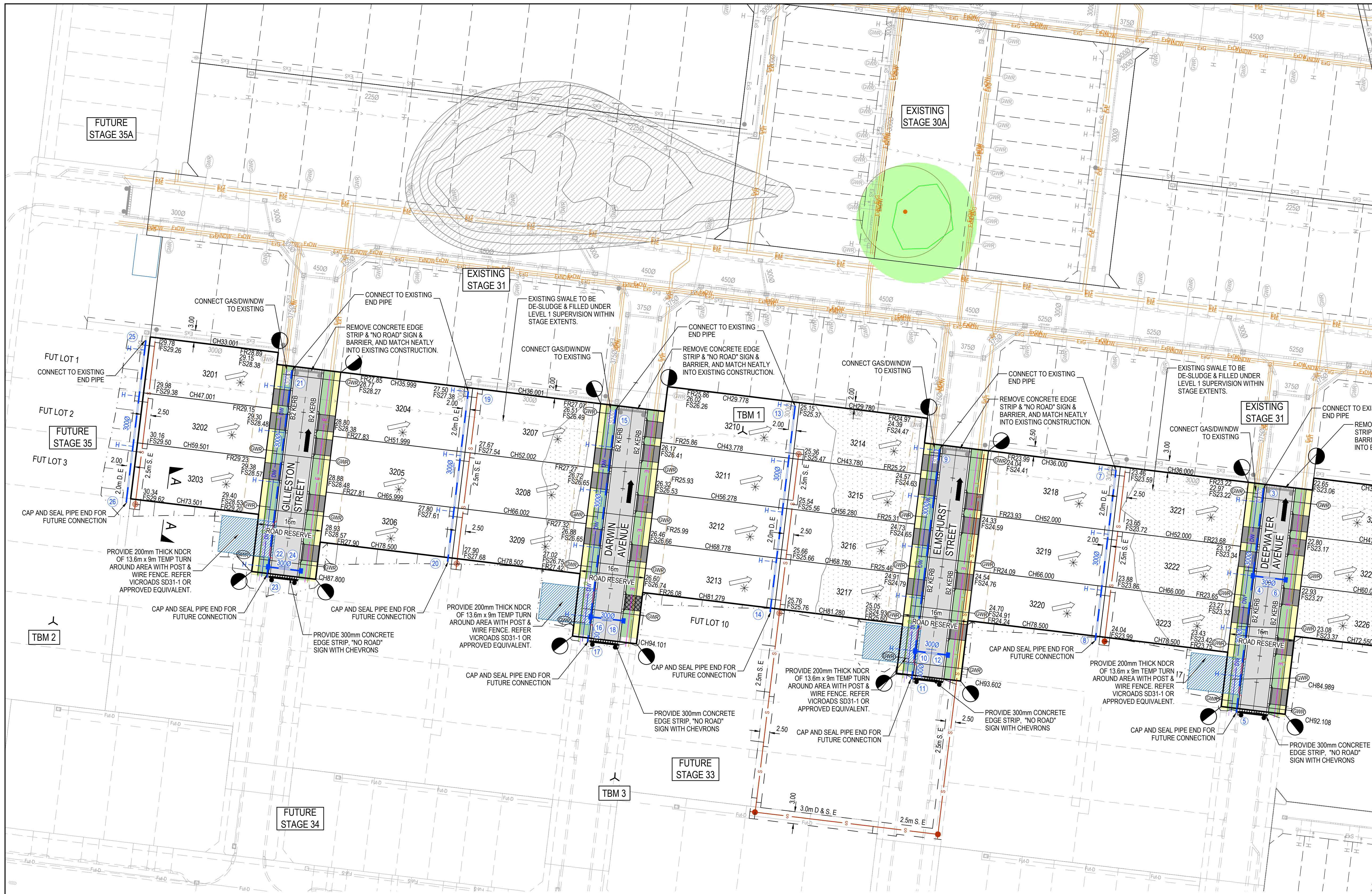
Project Details
ASHBURY ESTATE
STAGE 32
CITY OF GREATER GEELONG
Drawing Title
PAVEMENT MAKEUP & GENERAL DETAILS

Sheet 03 of 24

Scale
AS SHOWN

Project Ref	Stage No	Drawing No	Rev
1600047	32	003	P5

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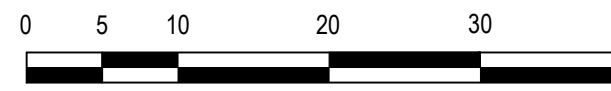


- LEGEND - LAYOUT PLAN**
- STORMWATER DRAIN, PIT & PROPERTY INLET
 - SEWER & MAINTENANCE STRUCTURES
 - HOUSE DRAIN
 - SERVICE CONDUITS
 - ELECTRICITY (UNDERGROUND)
 - TELECOMMUNICATIONS
 - GAS
 - WATER
 - RECYCLED WATER
 - EXISTING ELECTRICITY (UNDERGROUND)
 - EXISTING GAS
 - EXISTING TELECOMMUNICATIONS
 - EXISTING WATER
 - EXISTING RECYCLED WATER
 - EXISTING STORMWATER DRAIN
 - EXISTING SEWER
 - EXISTING HOUSE DRAIN
 - EXISTING SWALE DRAIN
 - EXISTING SURFACE LEVEL
 - FINISHED BUILDING LINE LEVEL
 - FINISHED RIDGE LINE LEVEL
 - TOP OF RETAINING WALL
 - BOTTOM OF RETAINING WALL
 - RIDGE LINE
 - PAVEMENT TREATMENT
 - FILL > 200mm DEEP
 - DIRECTION OF FALL
 - OVERLAND FLOW
 - ALLOTMENT TO BE GRADED EVENLY IN
 - DIRECTION OF FALL TO LEVELS INDICATED
 - CONCRETE EDGE STRIP WITH SUBSOIL DRAIN
 - "NO ROAD" SIGN & BARRIER
 - LIMIT OF WORKS
 - EXISTING TREE TO BE REMOVED
 - PERMANENT SURVEY MARK
 - TEMPORARY BENCH MARK
 - VEGETATION
 - EXISTING TREE TRUNK
 - PROPOSED TREES (INDICATIVE ONLY)
 - NATURE STRIP
 - FOOTPATH & DRIVEWAY
 - ROAD PAVEMENT
 - STANDARD VEHICLE CROSSING
 - NON-STANDARD VEHICLE CROSSING
 - NDCR TEMP TURN AROUND AREA
 - TEMPORARY LAYBACK
 - NVPP - VEGETATION TO BE REMOVED
 - NVPP - VEGETATION TO BE RETAINED
 - NVPP - LARGE OLD TREES IN PATCHES

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GREATER GEELONG PLANNING SCHEME

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Sheet 4 of 24
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Approved Date 5/07/2024

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SCALE 1:500 AT A1 SIZE

WARNING

BEWARE OF UNDERGROUND SERVICES
The locations of underground services are approximate only and their exact position should be proven on site.
No guarantee is given that all existing services are shown.
Locate all underground services before commencement of works.
DIAL 1100 BEFORE YOU DIG
www.1100.com.au

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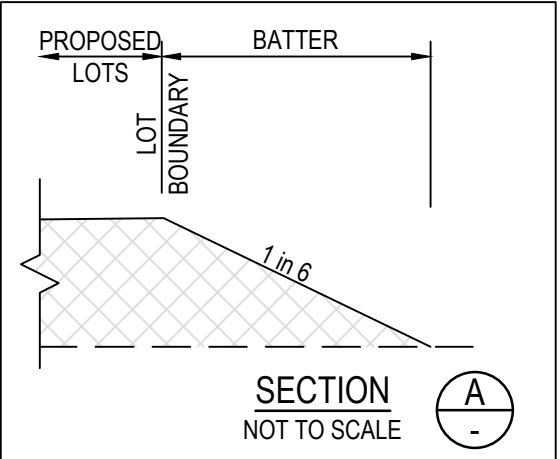
SERVICE OFFSET TABLE

Location	Gas		ND - Water		Water		Electricity		Telecommunication		Sewer	
	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)	Side	Offset (m)
DEEPWATER AVENUE	W	1.70	W	2.10	W	2.60	E	2.60	E	1.90	-	-
ELMHURST STREET	W	1.70	W	2.10	W	2.60	E	2.60	E	1.90	E	1.0
DARWIN AVENUE	W	1.70	W	2.10	W	2.60	E	2.60	E	1.90	-	-
GILLIESTON STREET	W	1.70	W	2.10	W	2.60	E	2.60	E	1.90	-	-

NOTE: STREET TREES ARE TO BE PLANTED IN THE CENTRE OF ALL NATURE STRIPS

TBM SCHEDULE

TBM	EASTING	NORTHING	LEVEL	DESCRIPTION
TBM 1	267841.96	5765334.77	25.51	STAR PICKET
TBM 2	267670.76	5765287.44	30.82	STAR PICKET
TBM 3	267810.20	5765248.71	26.85	STAR PICKET



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ARMSTRONG CREEK

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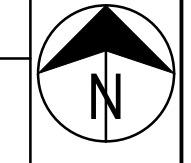
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Development & Infrastructure Consultants
Level 1 / 122 Yarra St
Geelong VIC 3220
ph: 03 9524 8888
www.beveridgewilliams.com.au

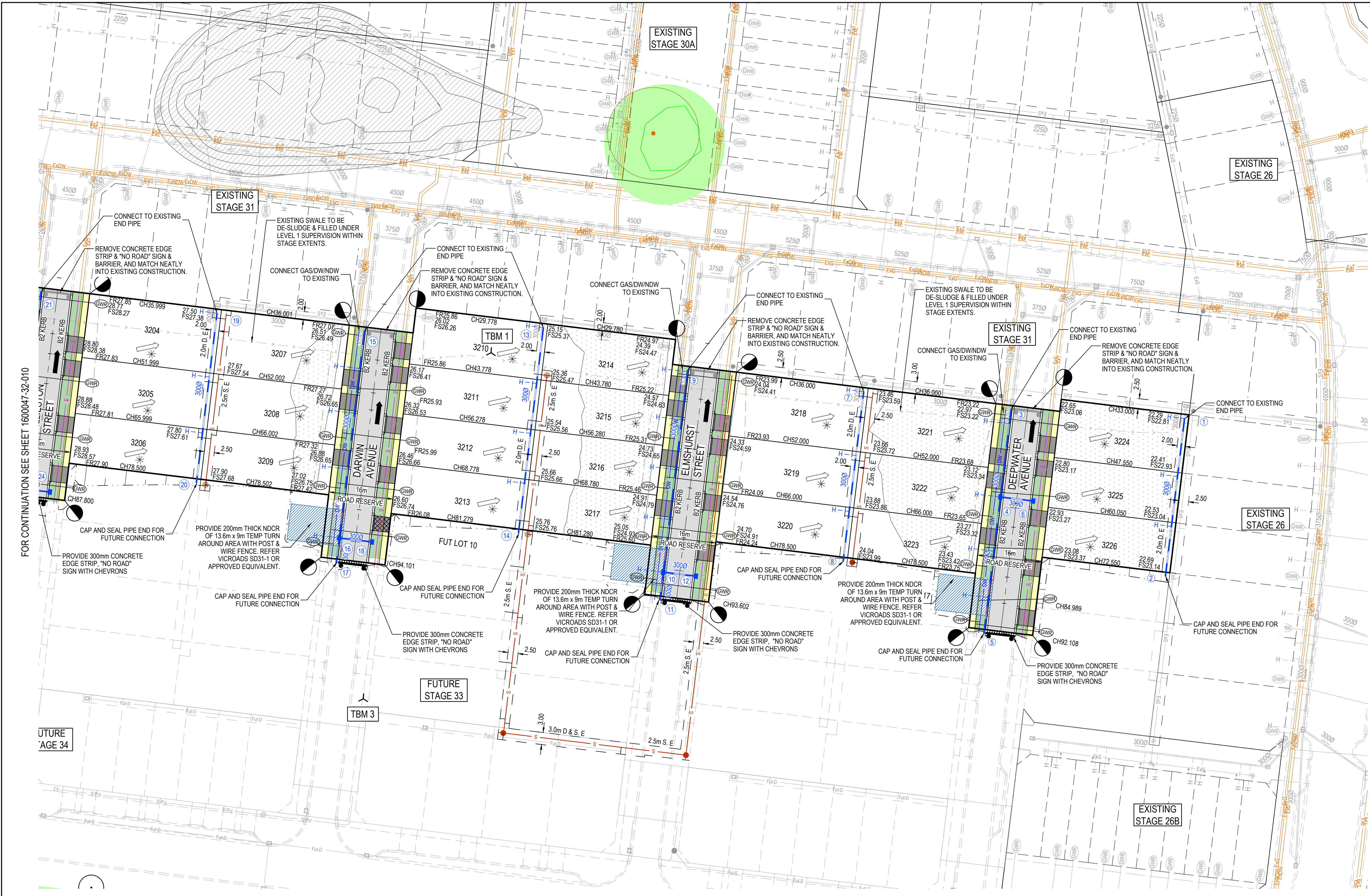
Project Details
ASHBURY ESTATE
STAGE 32
CITY OF GREATER GEELONG
Drawing Title
LAYOUT PLAN
SHEET 1 OF 2

Sheet 04 of 24

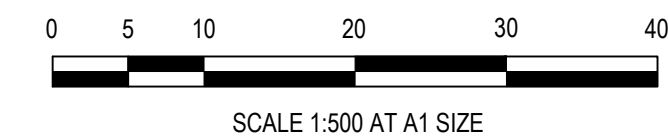
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Project Ref
1600047
Stage No
32
Drawing No
010
Rev
P5





- LEGEND - LAYOUT PLAN
- STORMWATER DRAIN, PIT & PROPERTY INLET
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 - TEMPORARY BENCH MARK
 - VEGETATION
 - EXISTING TREE TRUNK
 - PROPOSED TREES (INDICATIVE ONLY)
 - NATURE STRIP
 - FOOTPATH & DRIVEWAY
 - ROAD PAVEMENT
 - STANDARD VEHICLE CROSSING
 - NON-STANDARD VEHICLE CROSSING
 - NDCR TEMP TURN AROUND AREA
 - TEMPORARY LAYBACK
 - NVPP - VEGETATION TO BE REMOVED
 - NVPP - VEGETATION TO BE RETAINED
 - NVPP - LARGE OLD TREES IN PATCHES



WARNING
BEWARE OF UNDERGROUND SERVICES
The locations of underground services are approximate only and their exact position should be proven on site.
No guarantee is given that all existing services are shown.
Locate all underground services before commencement of works
DIAL 1100 BEFORE YOU DIG
www.1100.com.au

ISSUED FOR CONSTRUCTION

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REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	RC					
P4	AMENDED PAVEMENT DETAIL	03.06.24	LR	RC					
P3	AMENDED STAGE BOUNDARY	31.05.23	LR	RC					
P2	ISSUED FOR CONSTRUCTION	04.04.23	GS	RC					
P1	ISSUED FOR INFORMATION	14.02.23	GS	RC					

ASHBURY
ARMSTRONG CREEK



Designed N.ZHANG
Date 19.01.2023
Drawn L.SUTHERLAND
Checked R.CROSS
Date 14.02.2023
Approved R.CROSS
Reg. No. PE0005562
Date 14.02.2023
PS Number -

BW Beveridge Williams
Development & Infrastructure Consultants
Level 1 / 122 Yarra St
Geelong VIC 3220
ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details
ASHBURY ESTATE
STAGE 32
CITY OF GREATER GEELONG
Drawing Title
LAYOUT PLAN
SHEET 2 OF 2

Sheet 05 of 24

Scale
1:500 @ A1

Project Ref	Stage No	Drawing No	Rev
1600047	32	011	P5

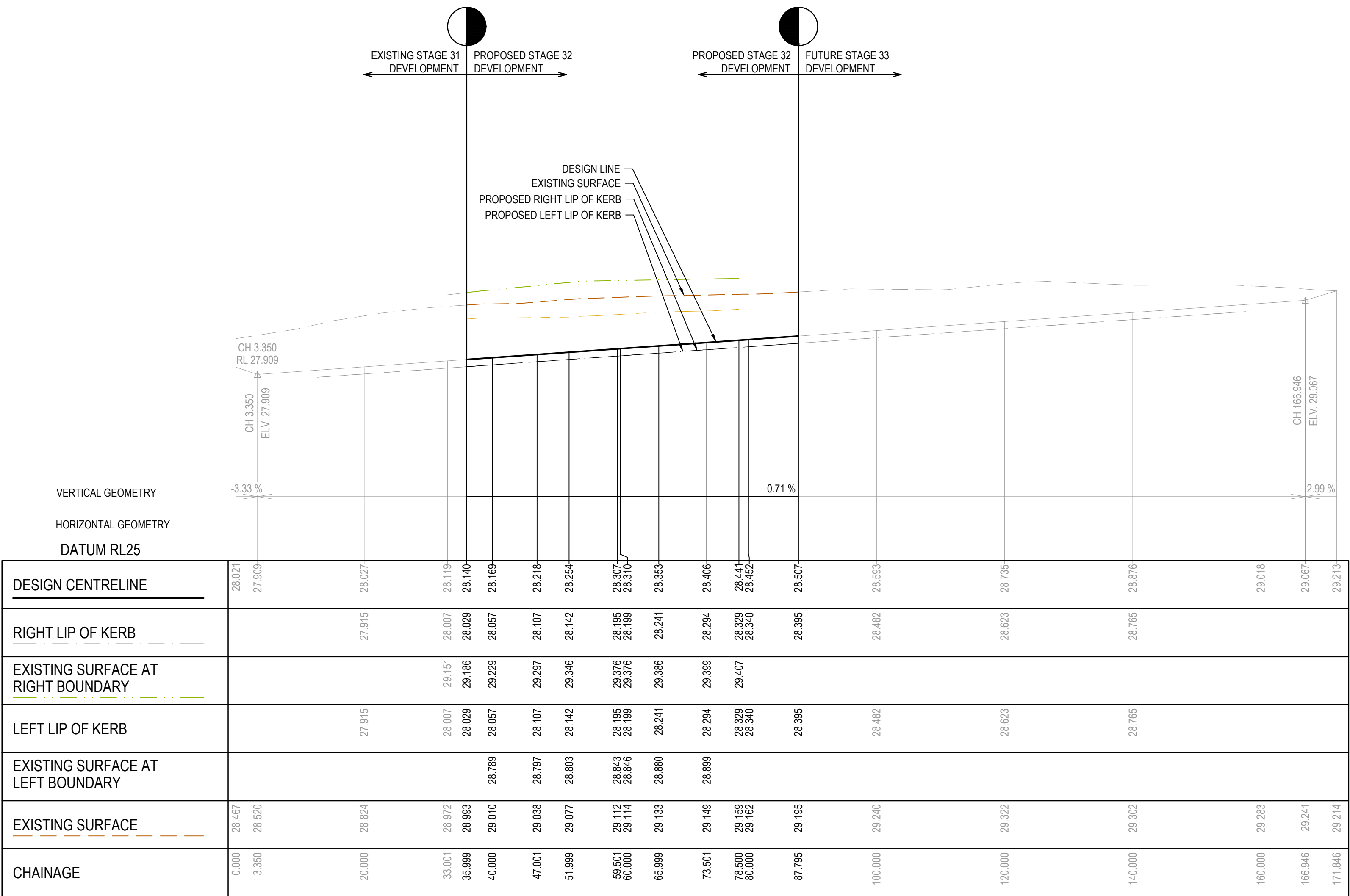
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LEGEND	
	EXISTING SURFACE
	DESIGN LINE
	FUTURE DESIGN LINE
	EXISTING SURFACE AT RIGHT BOUNDARY
	RIGHT LIP OF KERB
	EXISTING SURFACE AT LEFT BOUNDARY
	LEFT LIP OF KERB

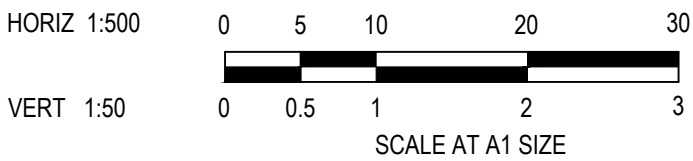
GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 6 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

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GILLIESTON STREET LONGITUDINAL SECTION



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P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	RC
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P2	ISSUED FOR CONSTRUCTION	04.04.23	GS	RC
P1	ISSUED FOR INFORMATION	14.02.23	GS	RC

REV	DESCRIPTION	DATE	DRN	APP
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REV	DESCRIPTION	DATE	DRN	APP
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ASHBURY
» ARMSTRONG CREEK «



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
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PS Number	-

BW Beveridge Williams
Development & Infrastructure Consultants
Level 1 /122 Yarra St
Geelong VIC 3220
ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details
ASHBURY ESTATE
STAGE 32
CITY OF GREATER GEELONG
Drawing Title
GILLIESTON STREET
LONGITUDINAL SECTIONS

Sheet 06 of 24

Scale
1:500 H 1:50 V @ A1

Project Ref	Stage No	Drawing No	Rev
1600047	32	100	P5

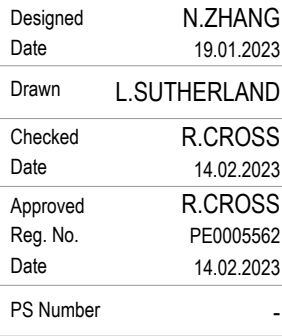
GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 7 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

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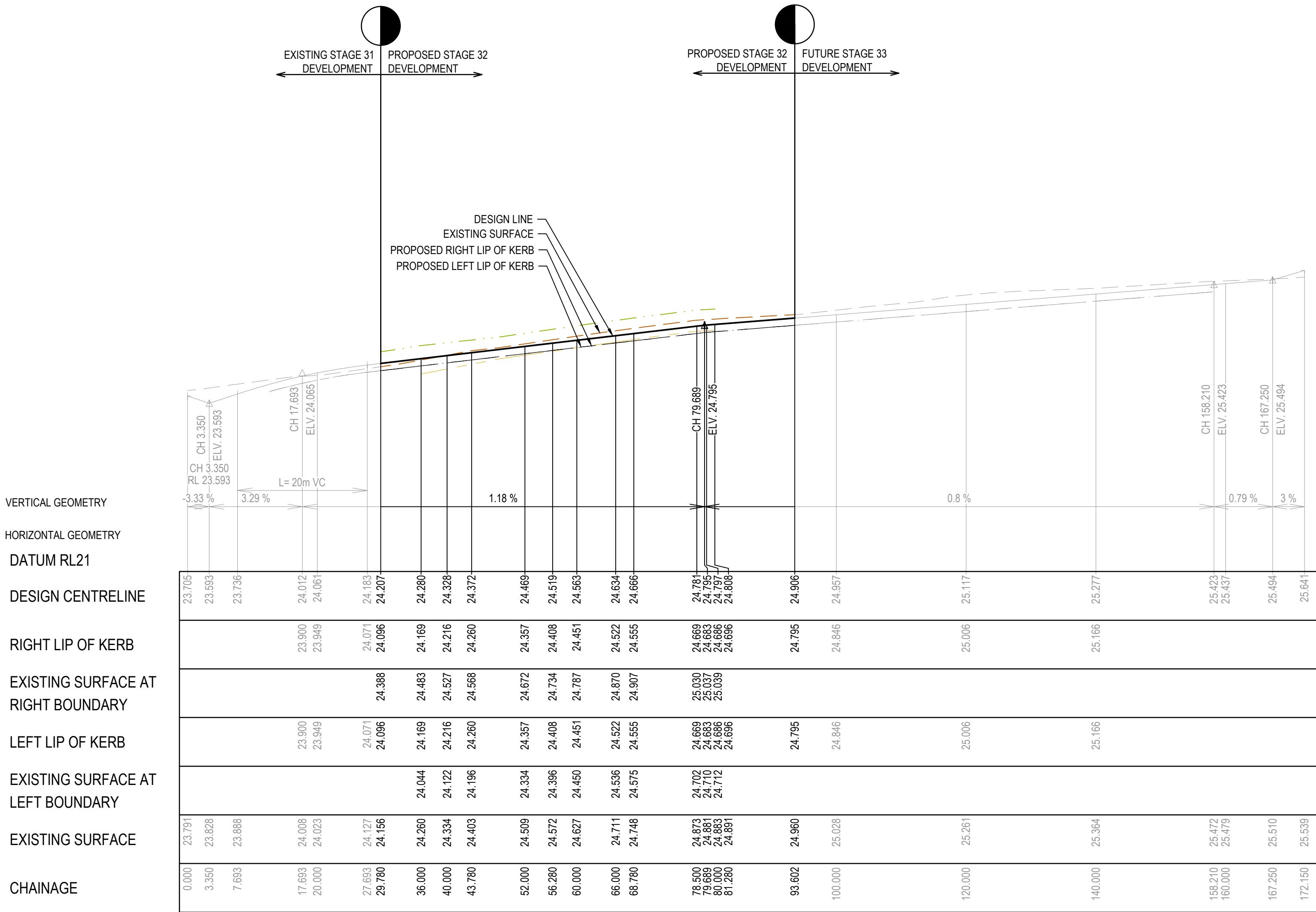
ASHBURY
ARMSTRONG CREEK



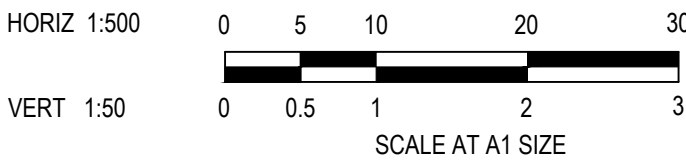
Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	DARWIN AVENUE LONGITUDINAL SECTIONS

Sheet 07 of 24			
Scale 1:500 H 1:50 V @ A1			
Project Ref	Stage No	Drawing No	Rev
1600047	32	101	P5

LEGEND	
	EXISTING SURFACE
	DESIGN LINE
	FUTURE DESIGN LINE
	EXISTING SURFACE AT RIGHT BOUNDARY
	RIGHT LIP OF KERB
	EXISTING SURFACE AT LEFT BOUNDARY
	LEFT LIP OF KERB



Elmhurst Street LONGITUDINAL SECTION



GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 8 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

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P2	ISSUED FOR CONSTRUCTION	04.04.23	GS	RC					
P1	ISSUED FOR INFORMATION	14.02.23	GS	RC					

ASHBURY
ARMSTRONG CREEK



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
Date	14.02.2023
PS Number	-

BW Beveridge Williams
Development & Infrastructure Consultants
Level 1 /122 Yarra St
Geelong VIC 3220
ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details
ASHBURY ESTATE
STAGE 32
CITY OF GREATER GEELONG
Drawing Title
ELMHURST STREET
LONGITUDINAL SECTIONS

Sheet 08 of 24

Scale
1:500 H 1:50 V @ A1

Project Ref	Stage No	Drawing No	Rev
1600047	32	102	P5

\\geesbo01\jobs\1600047 Ashbury_Eng\Stage 32\Drawings\1600047-32-100-RLS.dwg

	PROPOSED STAGE 31 DEVELOPMENT										PROPOSED STAGE 32 DEVELOPMENT										FUTURE STAGE 33 DEVELOPMENT																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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DESIGN CENTRELINE	22.707	22.595		22.789		22.914	22.802	22.932	22.820	22.844	22.955	22.987		22.936	23.047	23.083		23.146	23.146	23.084	23.035	23.194		23.246		23.293	23.293	23.305		23.345		23.401		23.464		23.511		23.570		23.623		23.678		23.740		23.793		23.840		23.880		23.916		23.940		23.963		23.980		24.000		24.020		24.040		24.060		24.080		24.100		24.120		24.140		24.160		24.180		24.200		24.220		24.240		24.260		24.280		24.300		24.320		24.340		24.360		24.380		24.400		24.420		24.440		24.460		24.480		24.500		24.520		24.540		24.560		24.580		24.600		24.620		24.640		24.660		24.680		24.700		24.720		24.740		24.760		24.780		24.800		24.820		24.840		24.860		24.880		24.900		24.920		24.940		24.960		24.980		25.000		25.020		25.040		25.060		25.080		25.100		25.120		25.140		25.160		25.180		25.200		25.220		25.240		25.260		25.280		25.300		25.320		25.340		25.360		25.380		25.400		25.420		25.440		25.460		25.480		25.500		25.520		25.540		25.560		25.580		25.600		25.620		25.640		25.660		25.680		25.700		25.720		25.740		25.760		25.780		25.800		25.820		25.840		25.860		25.880		25.900		25.920		25.940		25.960		25.980		26.000		26.020		26.040		26.060		26.080		26.100		26.120		26.140		26.160		26.180		26.200		26.220		26.240		26.260		26.280		26.300		26.320		26.340		26.360		26.380		26.400		26.420		26.440		26.460		26.480		26.500		26.520		26.540		26.560		26.580		26.600		26.620		26.640		26.660		26.680		26.700		26.720		26.740		26.760		26.780		26.800		26.820		26.840		26.860		26.880		26.900		26.920		26.940		26.960		26.980		27.000		27.020		27.040		27.060		27.080		27.100		27.120		27.140		27.160		27.180		27.200		27.220		27.240		27.260		27.280		27.300		27.320		27.340		27.360		27.380		27.400		27.420		27.440		27.460		27.480		27.500		27.520		27.540		27.560		27.580		27.600		27.620		27.640		27.660		27.680		27.700		27.720		27.740		27.760		27.780		27.800		27.820		27.840		27.860		27.880		27.900		27.920		27.940		27.960		27.980		28.000		28.020		28.040		28.060		28.080		28.100		28.120		28.140		28.160		28.180		28.200		28.220		28.240		28.260		28.280		28.300		28.320		28.340		28.360		28.380		28.400		28.420		28.440		28.460		28.48

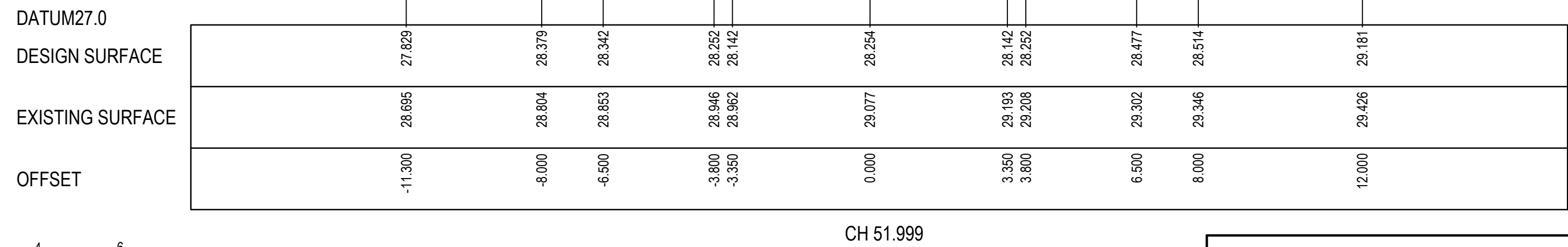
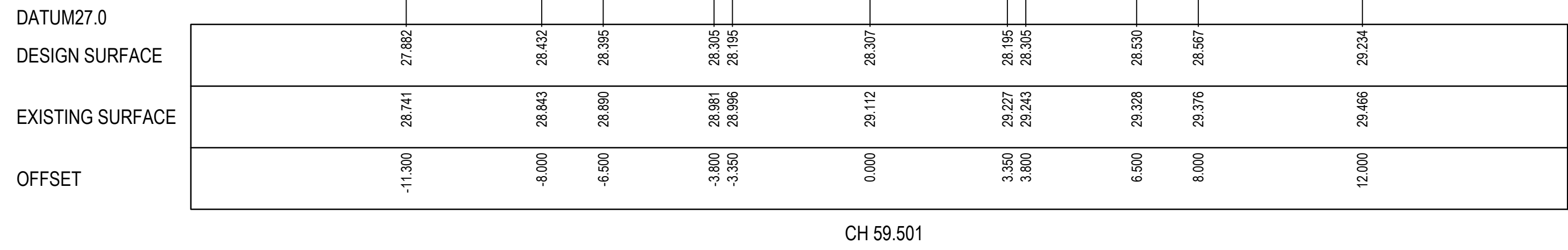
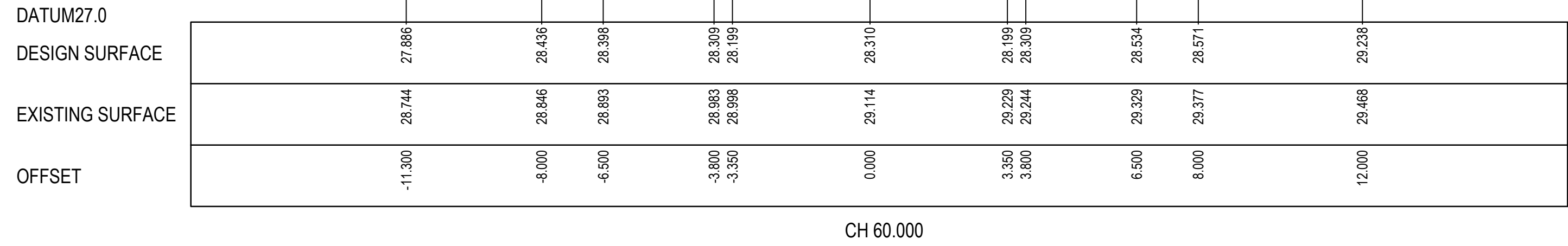
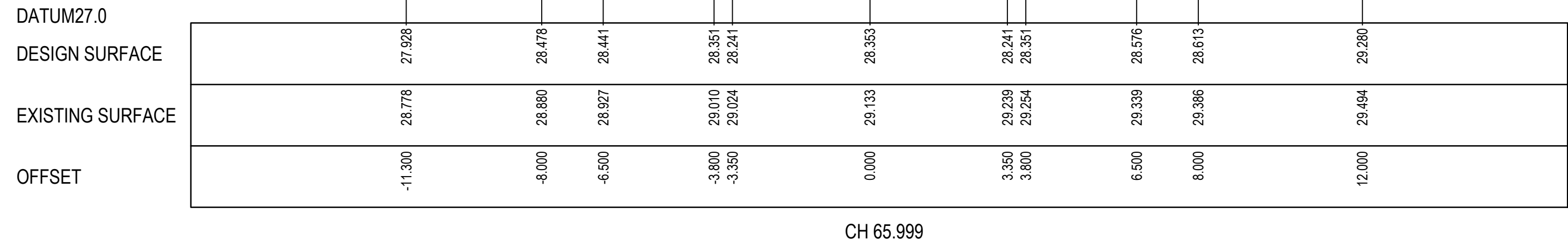
DeepWater Avenue LONGITUDINAL SECTION

\\geesto01\jobs\1600047 Ashbury_Engl\Stage 32\Drawings\1600047-32-100-RLS.dwg

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 10 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

LEGEND

	EXISTING SURFACE
	DESIGN SURFACE
	STRUCTURAL FILL



ISSUED FOR
CONSTRUCTION

ASHBURY
= ARMSTRONG CREEK =



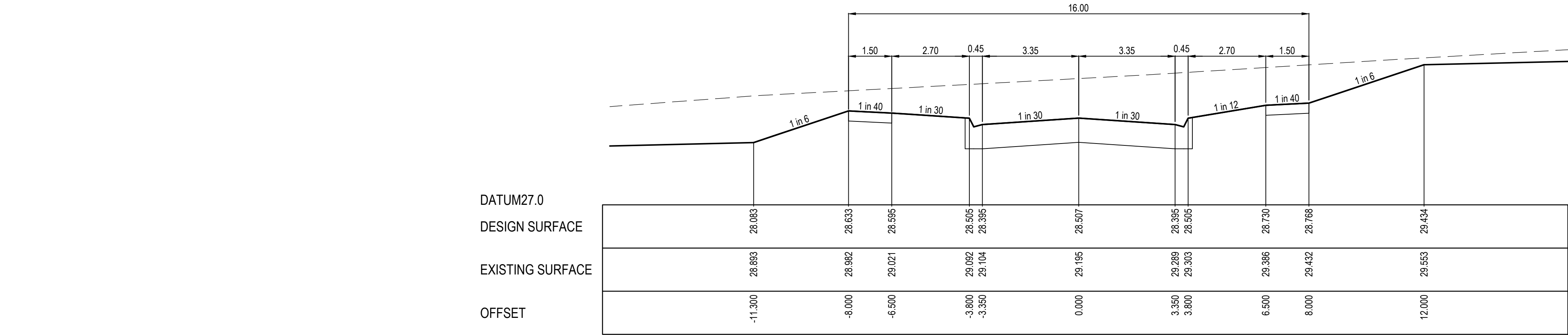
Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
Date	14.02.2023
PS Number	-

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Development & Infrastructure Consultants
Level 1 /122 Yarra St
Geelong VIC 3220
ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	GILLIESTON STREET CROSS SECTIONS SHEET 1 OF 2

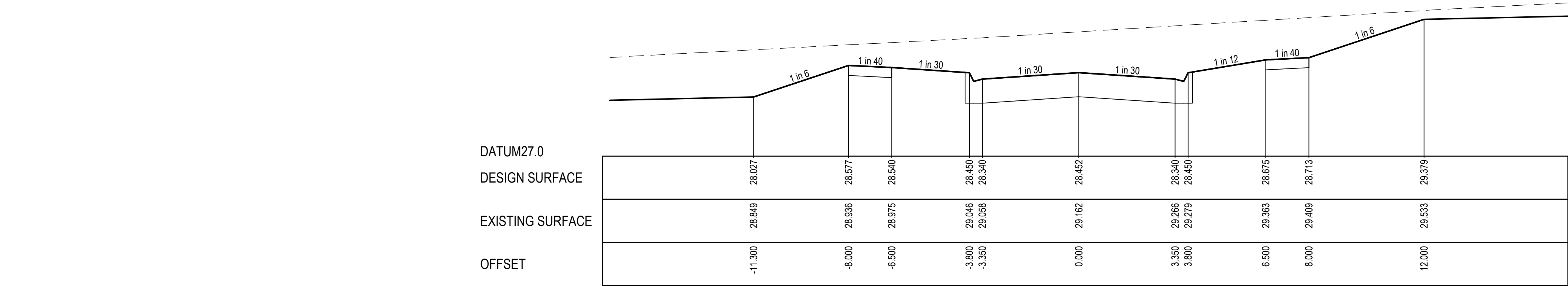
Sheet 10 of 24			
Scale 1:100 H 1:50 V @ A1			
Project Ref	Stage No	Drawing No	Rev
1600047	32	200	P5

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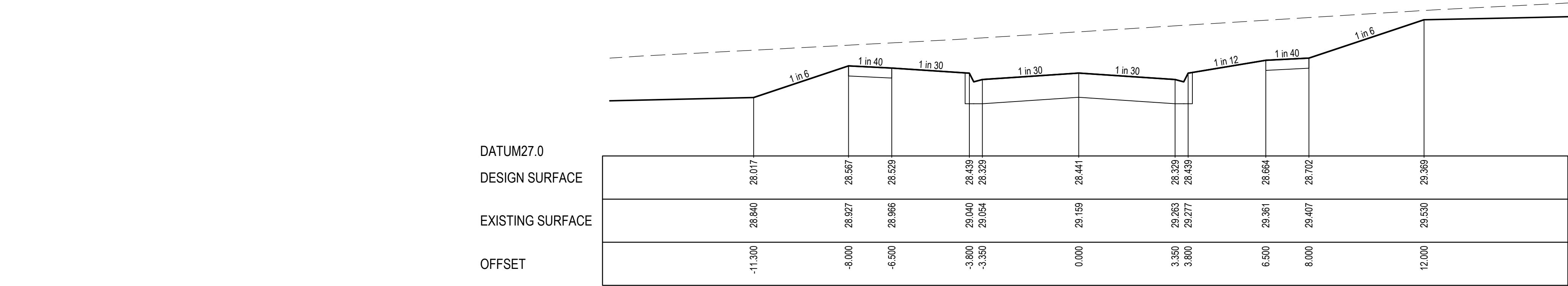
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EXISTING SURFACE	28.893	28.992	29.021	29.092	29.195	29.289	29.303	29.386	29.432	29.553
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CH 87.795



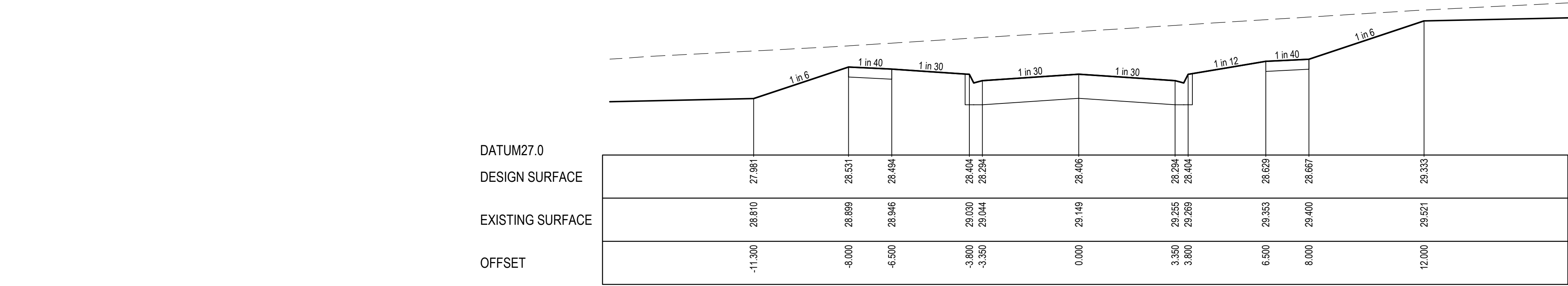
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CH 80.000



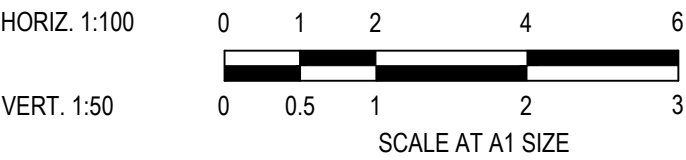
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EXISTING SURFACE	28.840	28.927	28.966	29.040	29.159	29.263	29.277	29.361	29.407	29.530
OFFSET	-11.300	-8.000	-6.500	-3.800	0.000	3.350	3.800	6.500	8.000	12.000

CH 78.500



DATUM27.0										
DESIGN SURFACE	27.981	28.531	28.494	28.404	28.406	28.294	28.404	28.629	28.667	29.333
EXISTING SURFACE	28.810	28.899	28.946	29.030	29.149	29.255	29.269	29.353	29.400	29.521
OFFSET	-11.300	-8.000	-6.500	-3.800	0.000	3.350	3.800	6.500	8.000	12.000

CH 73.501



STRUCTURAL FILL REQUIRED UNDER PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. REFER GEOTECH REPORT FOR SPECIFICATION

LEGEND

EXISTING SURFACE

DESIGN SURFACE

STRUCTURAL FILL

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 11 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

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P1	ISSUED FOR INFORMATION	14.02.23	GS	RC					
REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP

ASHBURY
ARMSTRONG CREEK



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Checked	R.CROSS
Date	14.02.2023
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Reg. No.	PE0005562
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PS Number	-

BWBeveridge Williams

Development & Infrastructure Consultants

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Geelong VIC 3220

ph: 03 9524 8888
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Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	GILLIESTON STREET CROSS SECTIONS SHEET 2 OF 2

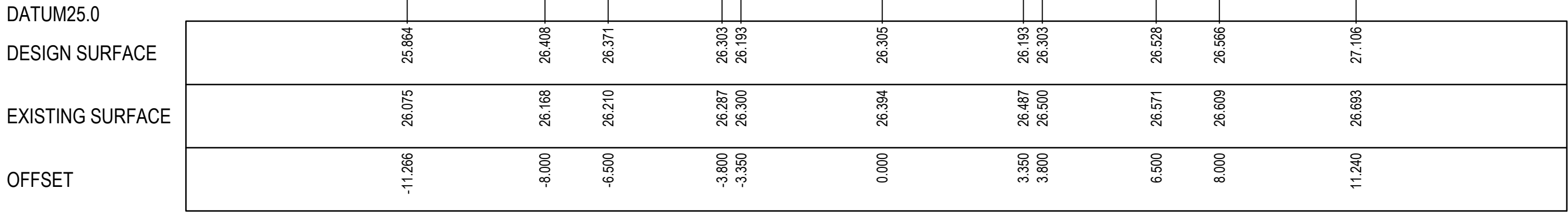
Sheet	11 of 24	
Scale	1:100 H 1:50 V @ A1	
Project Ref	1600047	Stage No 32
Drawing No	201	Rev P5

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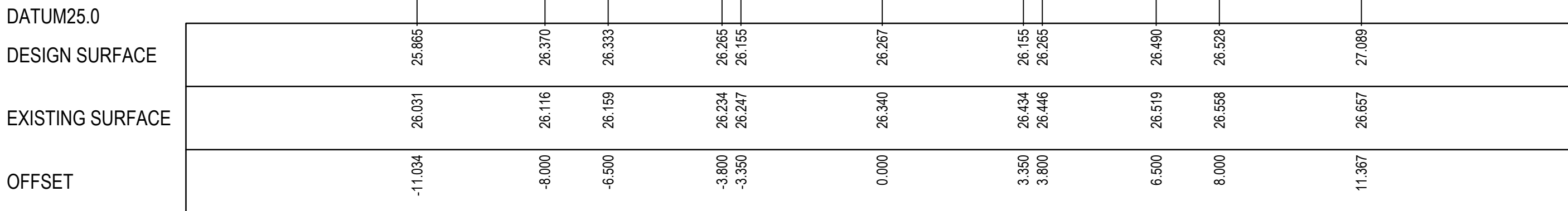
STRUCTURAL FILL REQUIRED UNDER PAVEMENT
AND FOOTPATHS WHERE CONSTRUCTED ABOVE
NATURAL SURFACE. REFER GEOTECH REPORT
FOR SPECIFICATION

LEGEND

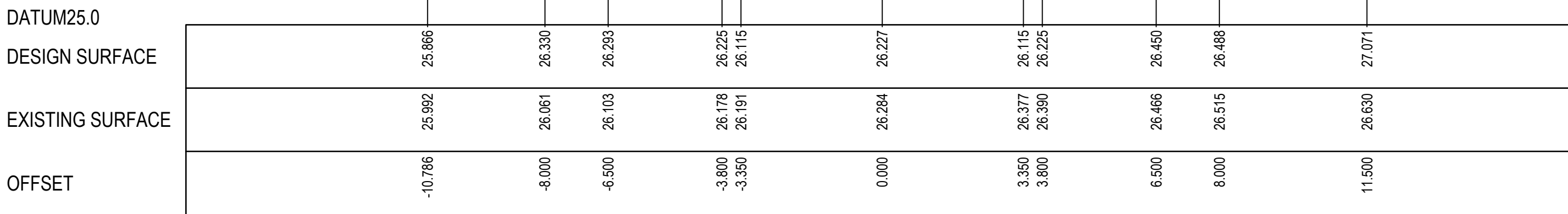
--- EXISTING SURFACE
--- DESIGN SURFACE
STRUCTURAL FILL



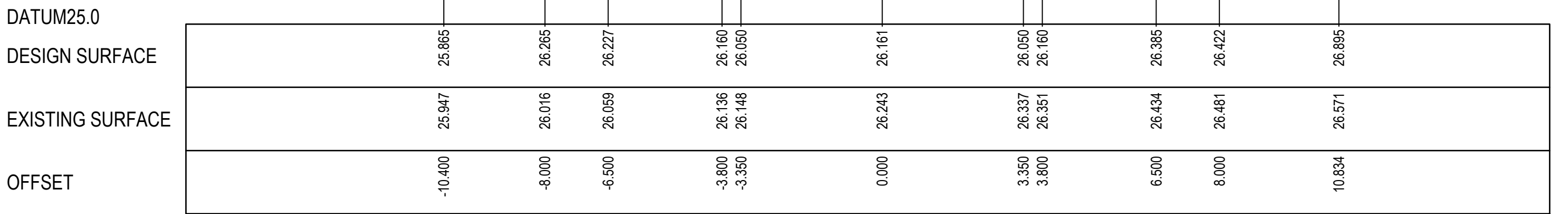
CH 43.778



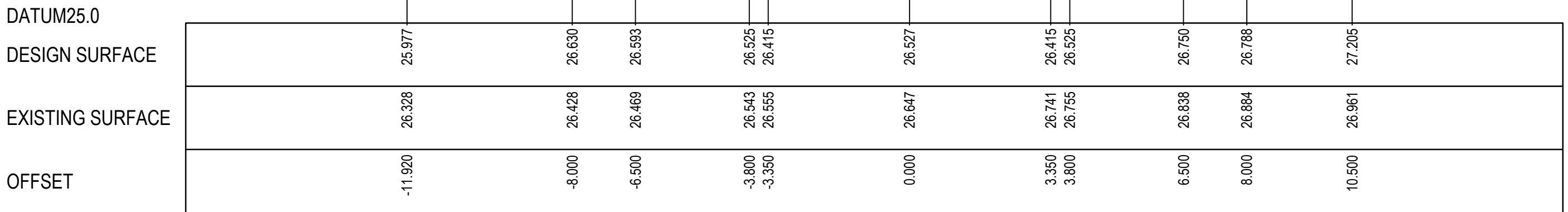
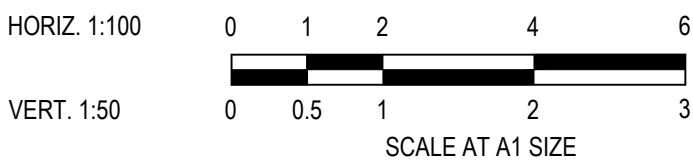
CH 40.000



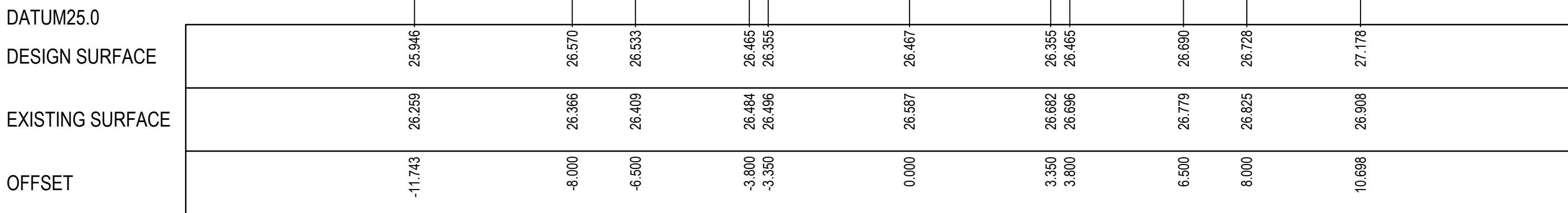
CH 36.001



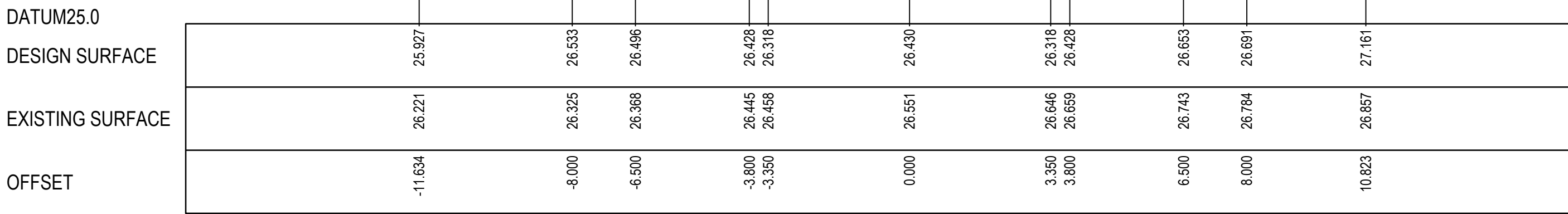
CH 29.778



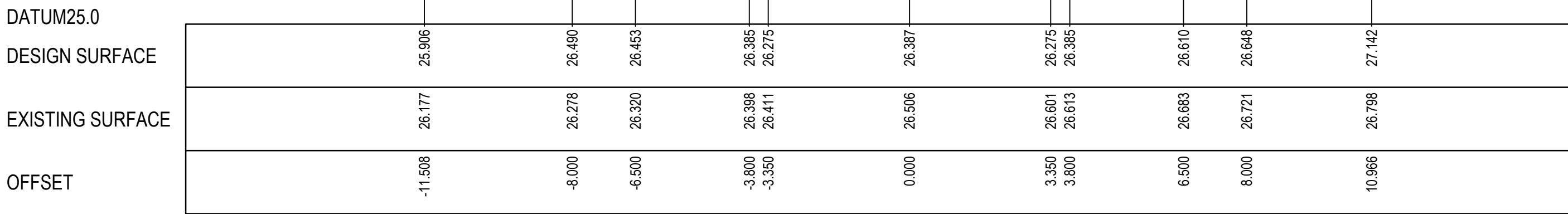
CH 66.002



CH 60.000



CH 56.278



CH 52.002

ISSUED FOR
CONSTRUCTION

P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	RC
P4	AMENDED PAVEMENT DETAIL	03.06.24	LR	RC
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REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
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ASHBURY
ARMSTRONG CREEK



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Date	14.02.2023
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Beveridge Williams

Development & Infrastructure Consultants

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Geelong VIC 3220

ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	DARWIN AVENUE CROSS SECTIONS SHEET 1 OF 2

Sheet 12 of 24

Scale
1:100 H 1:50 V @ A1

Project Ref	Stage No	Drawing No	Rev
1600047	32	202	P5

STRUCTURAL FILL REQUIRED UNDER PAVEMENT
AND FOOTPATHS WHERE CONSTRUCTED ABOVE
NATURAL SURFACE. REFER GEOTECH REPORT
FOR SPECIFICATION

LEGEND

--- EXISTING SURFACE
— DESIGN SURFACE
[Hatched Box] STRUCTURAL FILL

DATUM23.0

DESIGN SURFACE

EXISTING SURFACE

OFFSET

CH 43.780

DATUM23.0

DESIGN SURFACE

EXISTING SURFACE

OFFSET

CH 40.000

DATUM23.0

DESIGN SURFACE

EXISTING SURFACE

OFFSET

CH 36.000

DATUM23.0

DESIGN SURFACE

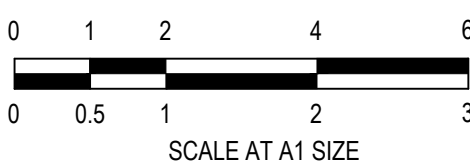
EXISTING SURFACE

OFFSET

CH 29.780

HORIZ. 1:100

VERT. 1:50



DATUM23.0

DESIGN SURFACE

EXISTING SURFACE

OFFSET

CH 66.000

DATUM23.0

DESIGN SURFACE

EXISTING SURFACE

OFFSET

CH 60.000

DATUM23.0

DESIGN SURFACE

EXISTING SURFACE

OFFSET

CH 56.280

DATUM23.0

DESIGN SURFACE

EXISTING SURFACE

OFFSET

CH 52.000

ISSUED FOR
CONSTRUCTION

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P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	RC
P4	AMENDED PAVEMENT DETAIL	03.06.24	LR	RC
P3	AMENDED STAGE BOUNDARY	31.05.23	LR	RC
P2	ISSUED FOR CONSTRUCTION	04.04.23	GS	RC
P1	ISSUED FOR INFORMATION	14.02.23	GS	RC

REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
-----	-------------	------	------	------	-----	-------------	------	------	------

ASHBURY
ARMSTRONG CREEK



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Date	14.02.2023
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
Date	14.02.2023
PS Number	-

BW Beveridge Williams
Development & Infrastructure Consultants
Level 1 /122 Yarra St
Geelong VIC 3220
ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	ELMSHURST STREET CROSS SECTIONS SHEET 1 OF 2

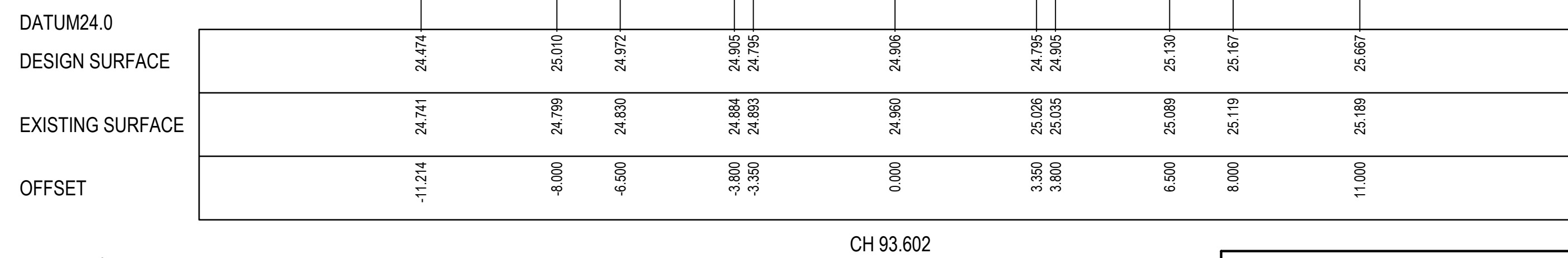
Sheet 14 of 24

Scale
1:100 H 1:50 V @ A1

Project Ref	Stage No	Drawing No	Rev
1600047	32	204	P5

LEGEND

	EXISTING SURFACE
	DESIGN SURFACE
	STRUCTURAL FILL

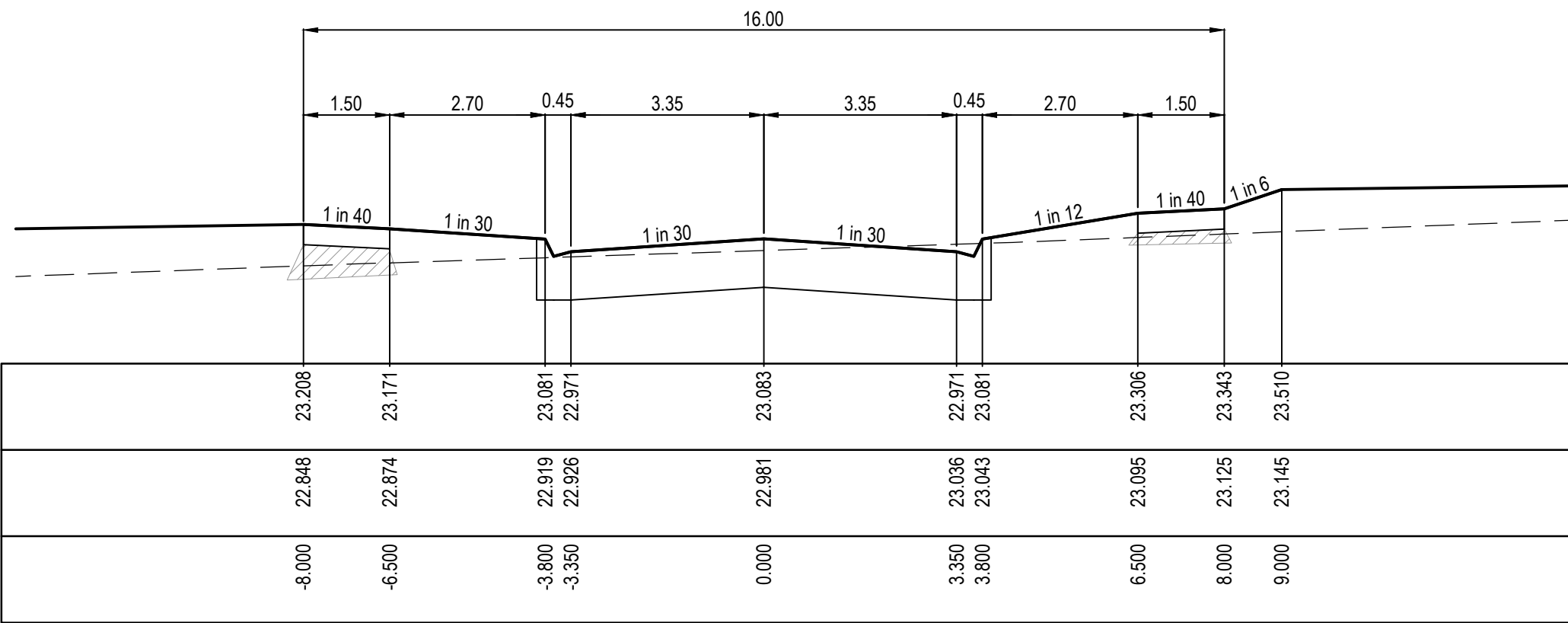


NOTE: THIS IS NOT A BUILDING APPROVAL



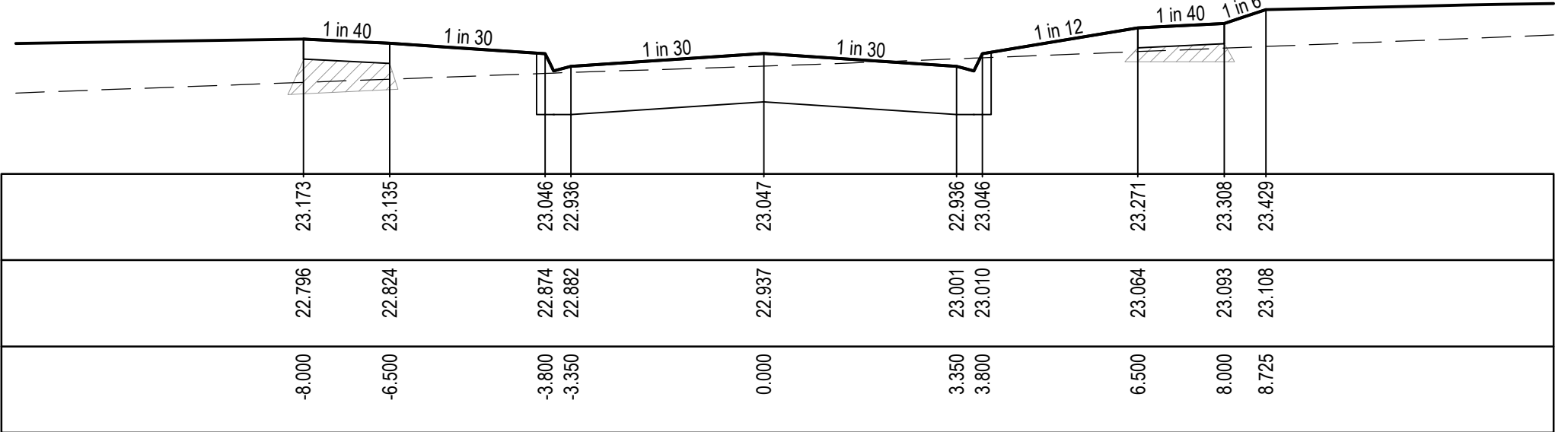
Project Ref	Stage No	Drawing No	Rev
1600047	32	205	P5

[illegible]



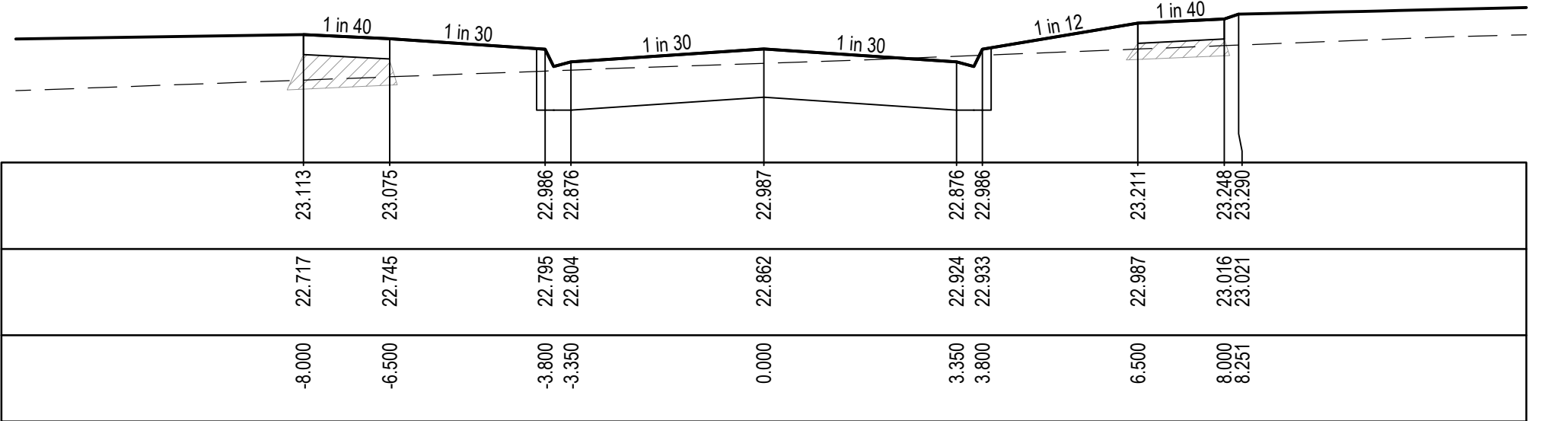
DATUM22.0	23.208	23.171	23.081	23.083	22.971	23.081	23.306	23.343	23.510
DESIGN SURFACE	22.848	22.874	22.919	22.926	22.981	23.086	23.043	23.095	23.125
EXISTING SURFACE	-8.000	-6.500	-3.800	-3.350	0.000	3.350	3.800	6.500	8.000
OFFSET									

CH 52.000



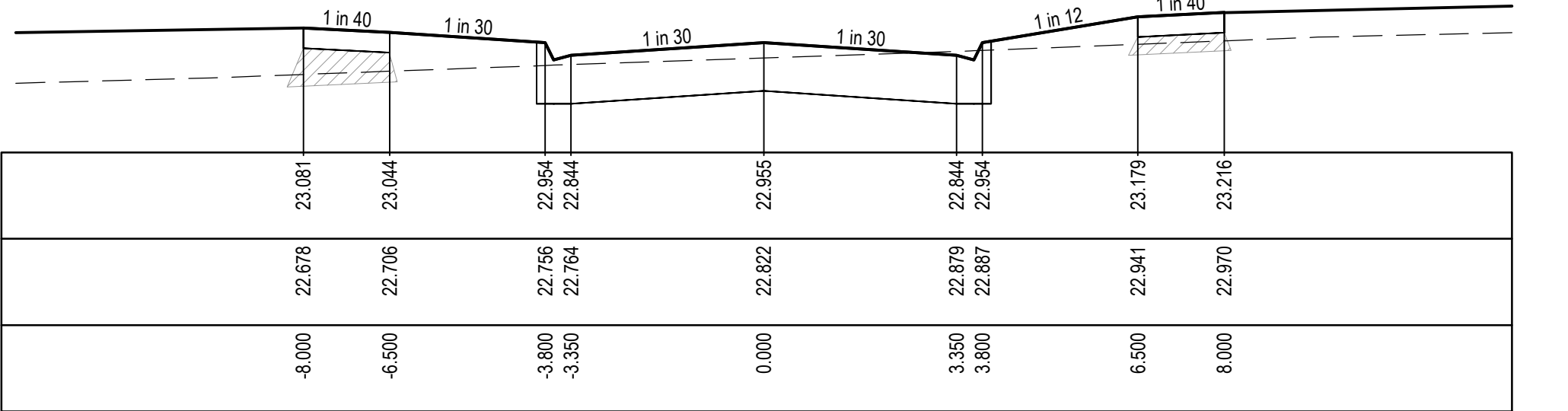
DATUM22.0	23.173	23.135	23.046	23.047	22.936	23.046	23.271	23.308	23.429
DESIGN SURFACE	22.796	22.824	22.874	22.882	22.937	23.001	23.010	23.064	23.083
EXISTING SURFACE	-8.000	-6.500	-3.800	-3.350	0.000	3.350	3.800	6.500	8.000
OFFSET									

CH 47.550



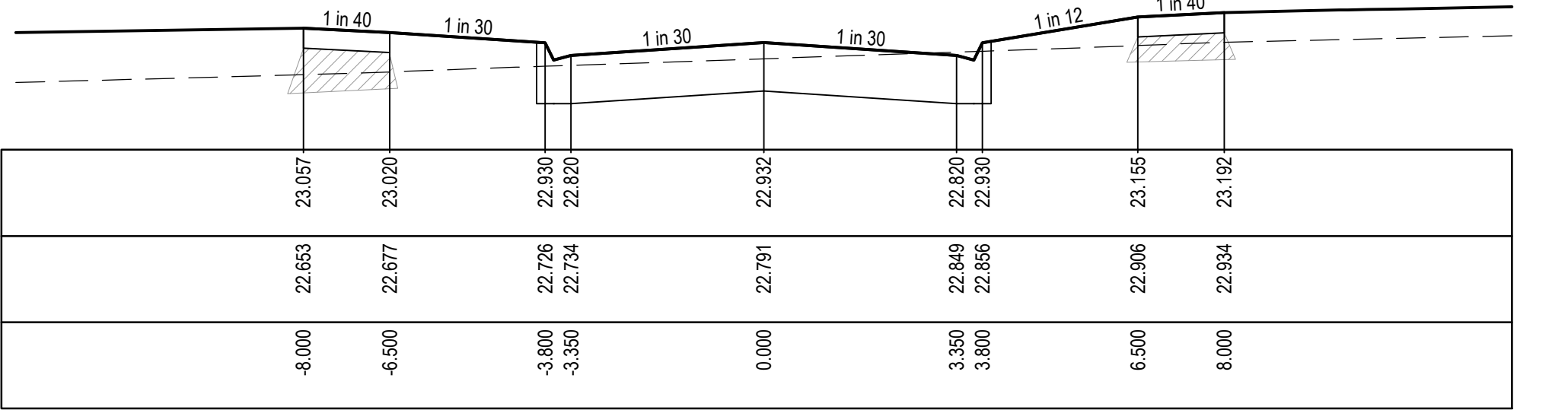
DATUM22.0	23.113	23.075	22.986	22.987	22.876	22.986	23.211	23.248	23.290
DESIGN SURFACE	22.717	22.745	22.795	22.804	22.862	22.924	22.933	23.016	23.021
EXISTING SURFACE	-8.000	-6.500	-3.800	-3.350	0.000	3.350	3.800	6.500	8.000
OFFSET									

CH 40.000



DATUM22.0	23.081	23.044	22.954	22.955	22.844	22.954	23.179	23.216	
DESIGN SURFACE	22.678	22.706	22.756	22.764	22.822	22.879	22.887	22.941	22.970
EXISTING SURFACE	-8.000	-6.500	-3.800	-3.350	0.000	3.350	3.800	6.500	8.000
OFFSET									

CH 36.000

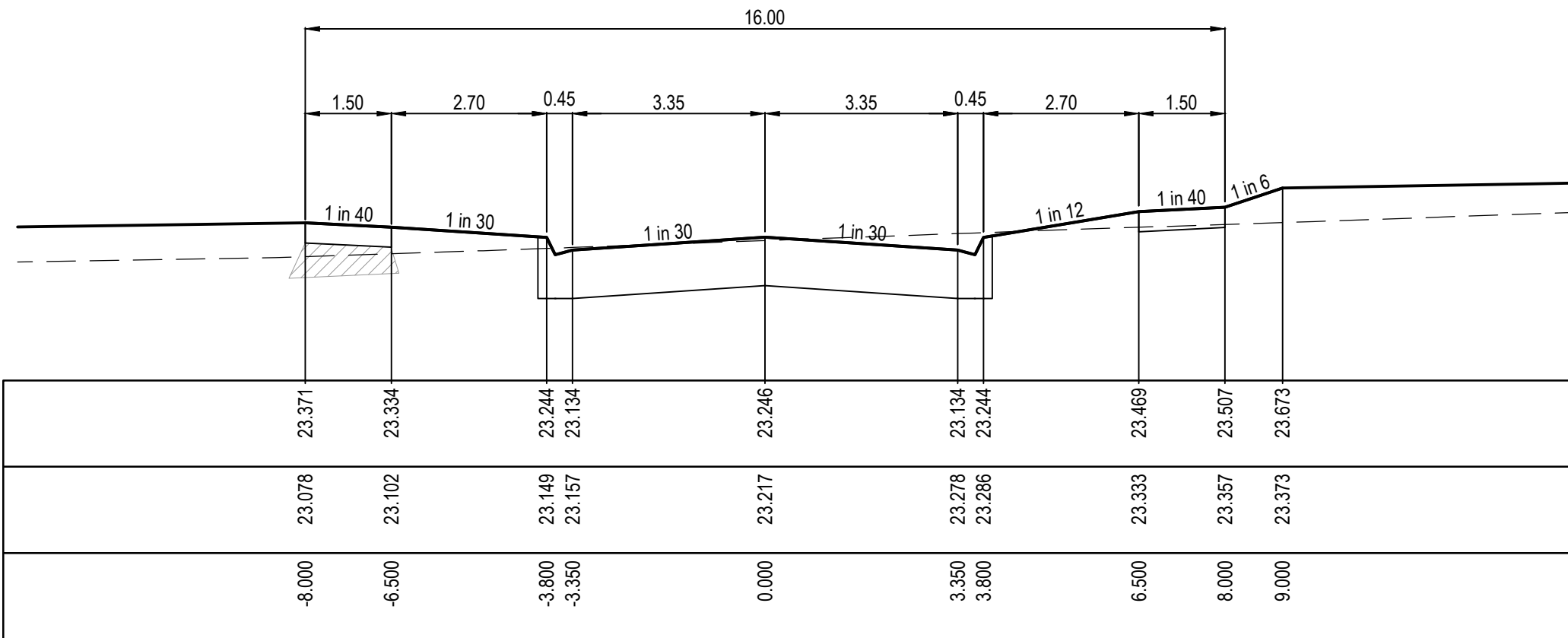


DATUM22.0	23.057	23.020	22.930	22.932	22.820	22.930	23.155	23.192	
DESIGN SURFACE	22.653	22.677	22.726	22.734	22.791	22.849	22.856	22.906	22.934
EXISTING SURFACE	-8.000	-6.500	-3.800	-3.350	0.000	3.350	3.800	6.500	8.000
OFFSET									

CH 33.000

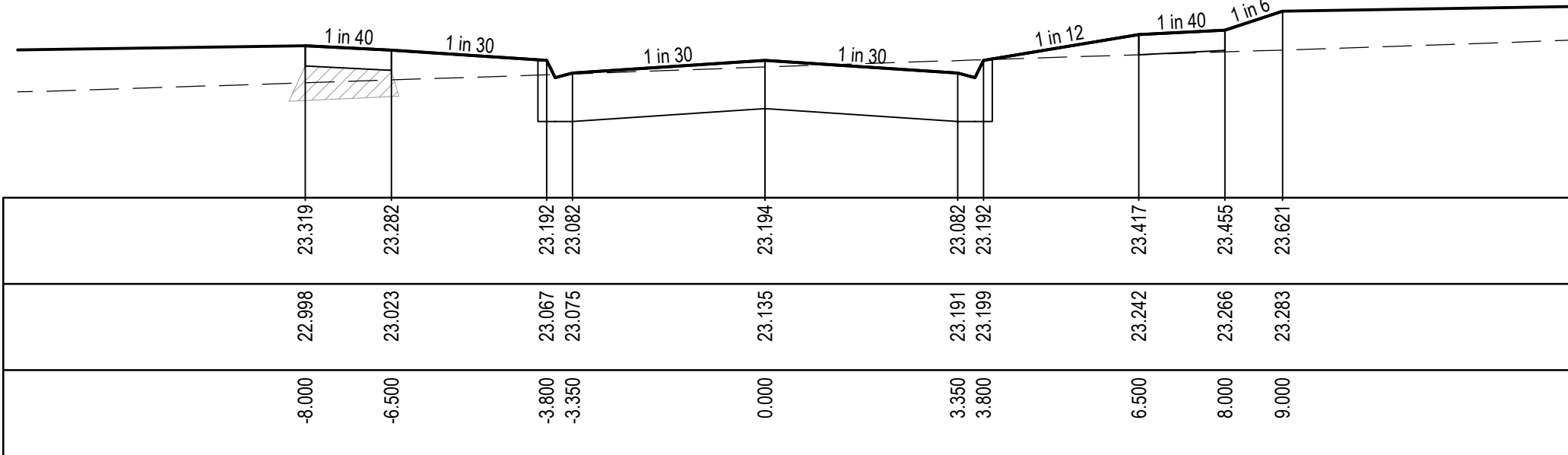
STRUCTURAL FILL REQUIRED UNDER PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. REFER GEOTECH REPORT FOR SPECIFICATION

LEGEND		
---	EXISTING SURFACE	
---	DESIGN SURFACE	
	STRUCTURAL FILL	



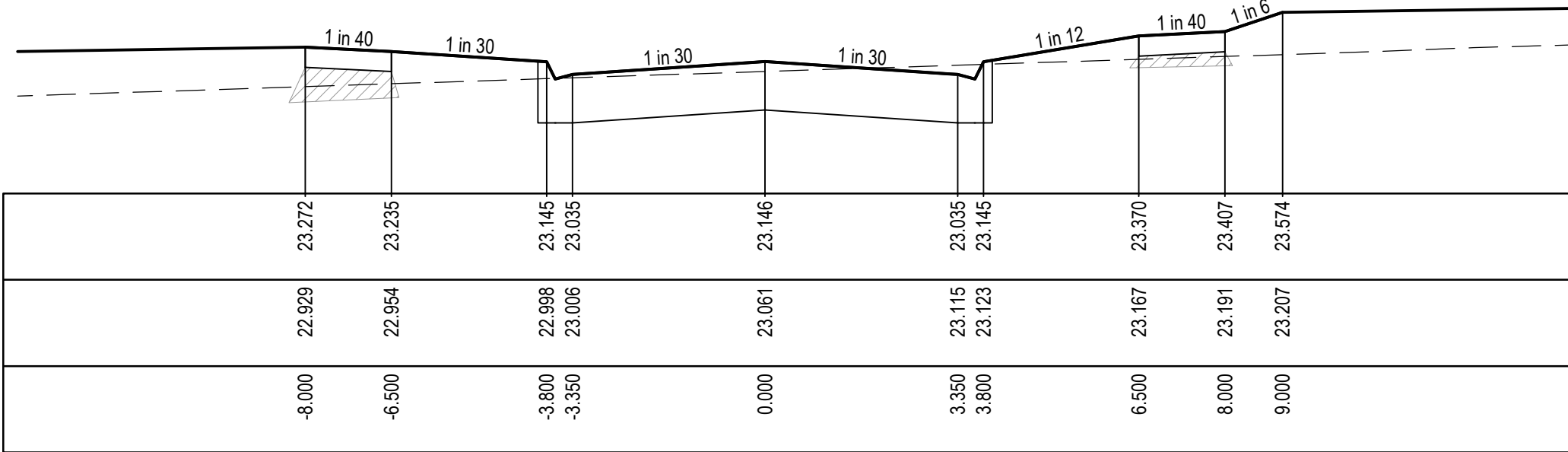
DATUM22.0	23.371	23.334	23.244	23.246	23.134	23.244	23.469	23.507	23.673
DESIGN SURFACE	23.078	23.102	23.149	23.157	23.217	23.278	23.286	23.333	23.357
EXISTING SURFACE	-8.000	-6.500	-3.800	-3.350	0.000	3.350	3.800	6.500	8.000
OFFSET									

CH 72.550



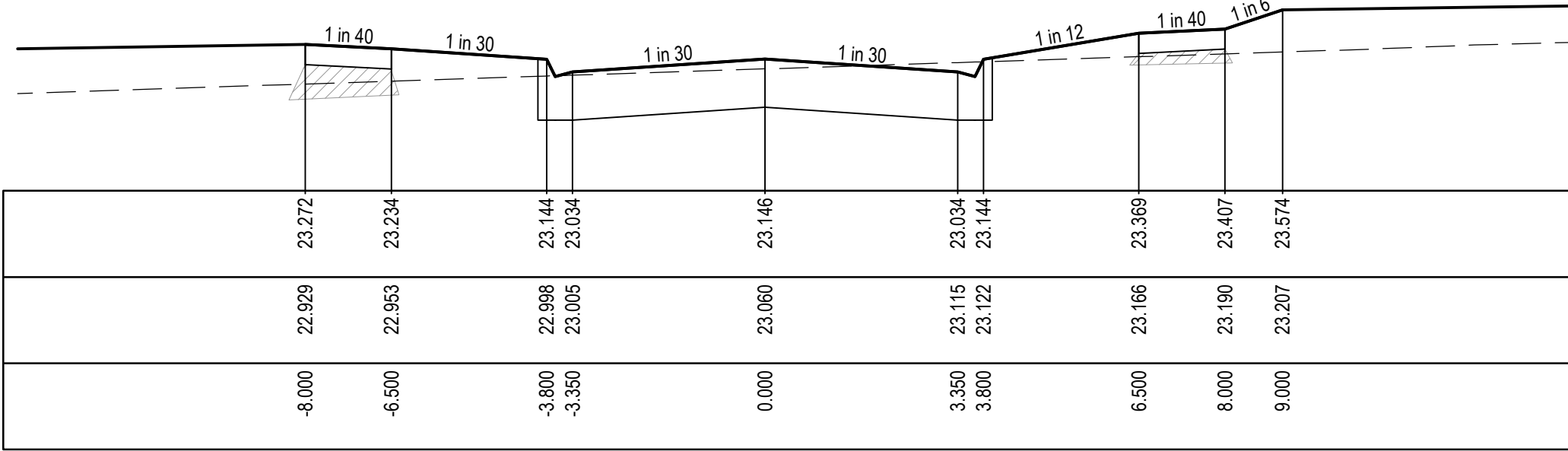
DATUM22.0	23.319	23.282	23.192	23.194	23.082	23.192	23.417	23.455	23.621
DESIGN SURFACE	22.998	23.023	23.067	23.075	23.135	23.191	23.199	23.242	23.266
EXISTING SURFACE	-8.000	-6.500	-3.800	-3.350	0.000	3.350	3.800	6.500	8.000
OFFSET									

CH 66.000



DATUM22.0	23.272	23.235	23.145	23.146	23.035	23.145	23.370	23.407	23.574
DESIGN SURFACE	22.929	22.954	22.998	23.006	23.061	23.115	23.123	23.167	23.191
EXISTING SURFACE	-8.000	-6.500	-3.800	-3.350	0.000	3.350	3.800	6.500	8.000
OFFSET									

CH 60.050



DATUM22.0	23.272	23.234	23.144	23.146	23.034	23.144	23.369	23.407	23.574
DESIGN SURFACE	22.929	22.953	22.998	23.004	23.059	23.115	23.122	23.166	23.190
EXISTING SURFACE	-8.000	-6.500	-3.800	-3.350	0.000	3.350	3.800	6.500	8.000
OFFSET									

CH 60.000

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 16 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

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P4	AMENDED PAVEMENT DETAIL	03.06.24	LR	RC
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P2	ISSUED FOR CONSTRUCTION	04.04.23	GS	RC
P1	ISSUED FOR INFORMATION	14.02.23	GS	RC

REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
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ASHBURY
ARMSTRONG CREEK



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Date	14.02.2023
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
Date	14.02.2023
PS Number	-

BW Beveridge Williams
Development & Infrastructure Consultants
Level 1 /122 Yarra St
Geelong VIC 3220
ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	DEEPWATER AVENUE CROSS SECTIONS SHEET 1 OF 2

Sheet	16 of 24
Scale	1:100 H 1:50 V @ A1
Project Ref	1600047
Stage No	32
Drawing No	206
Rev	P5

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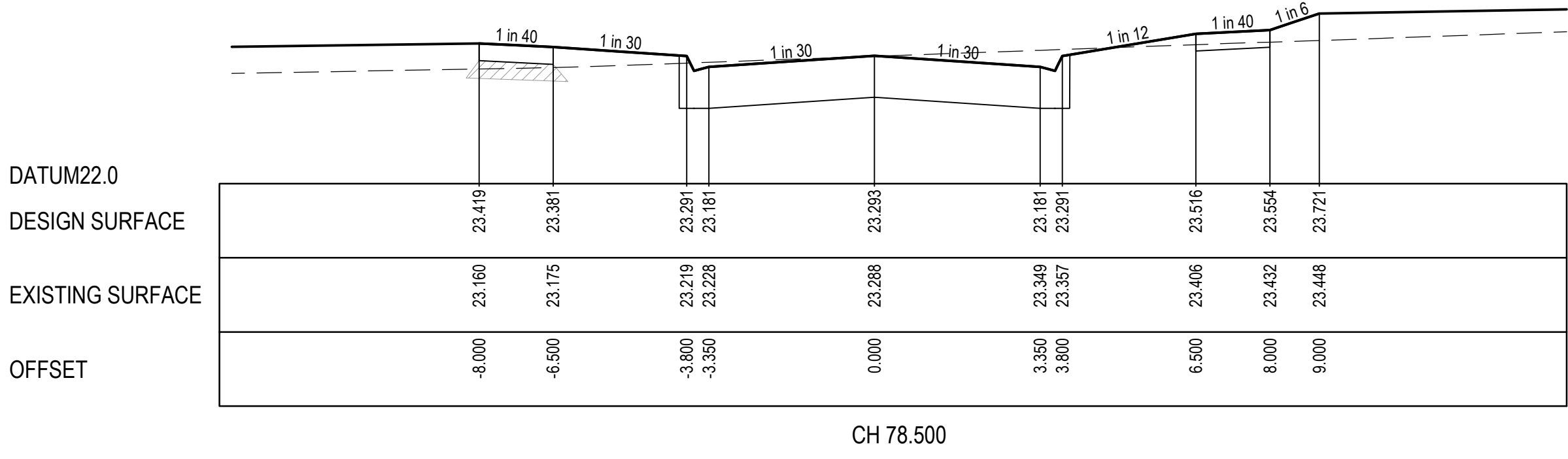
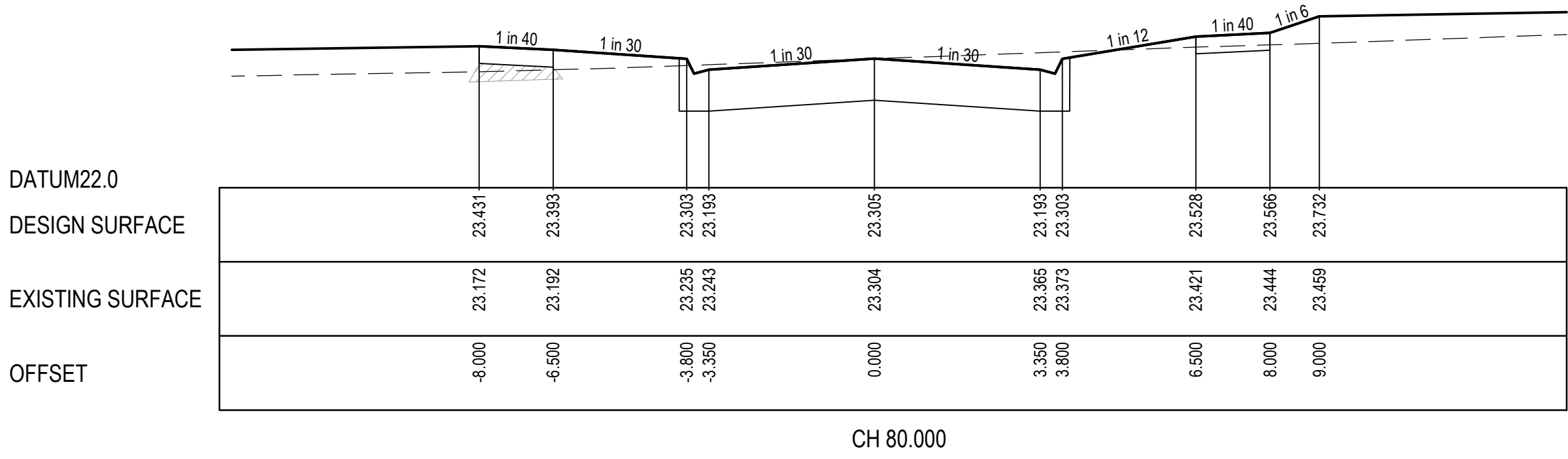
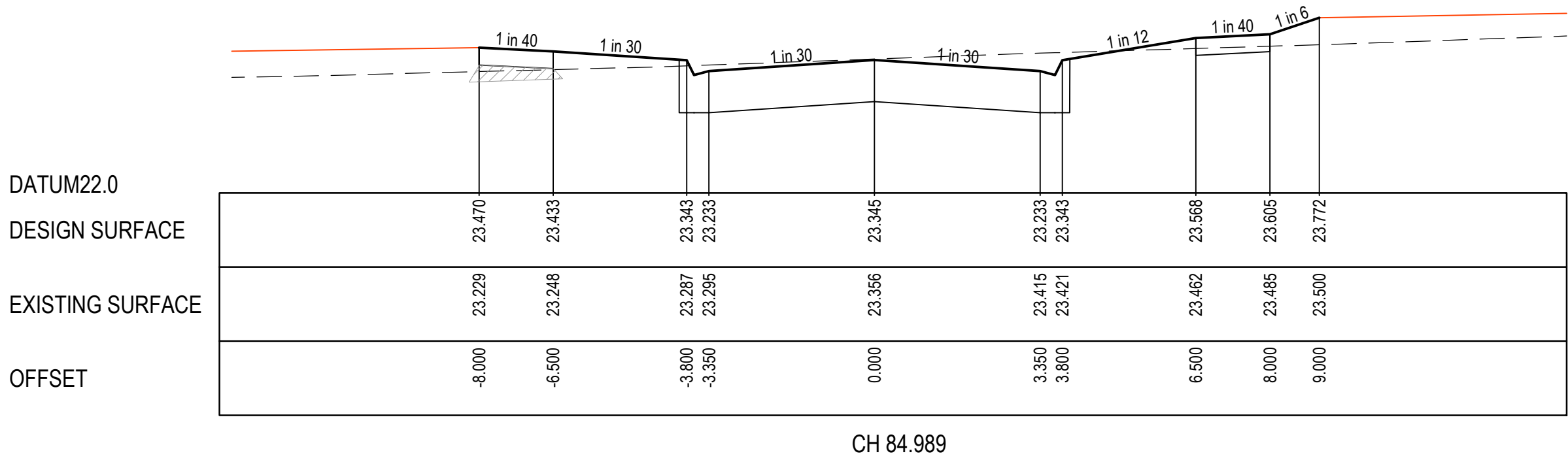
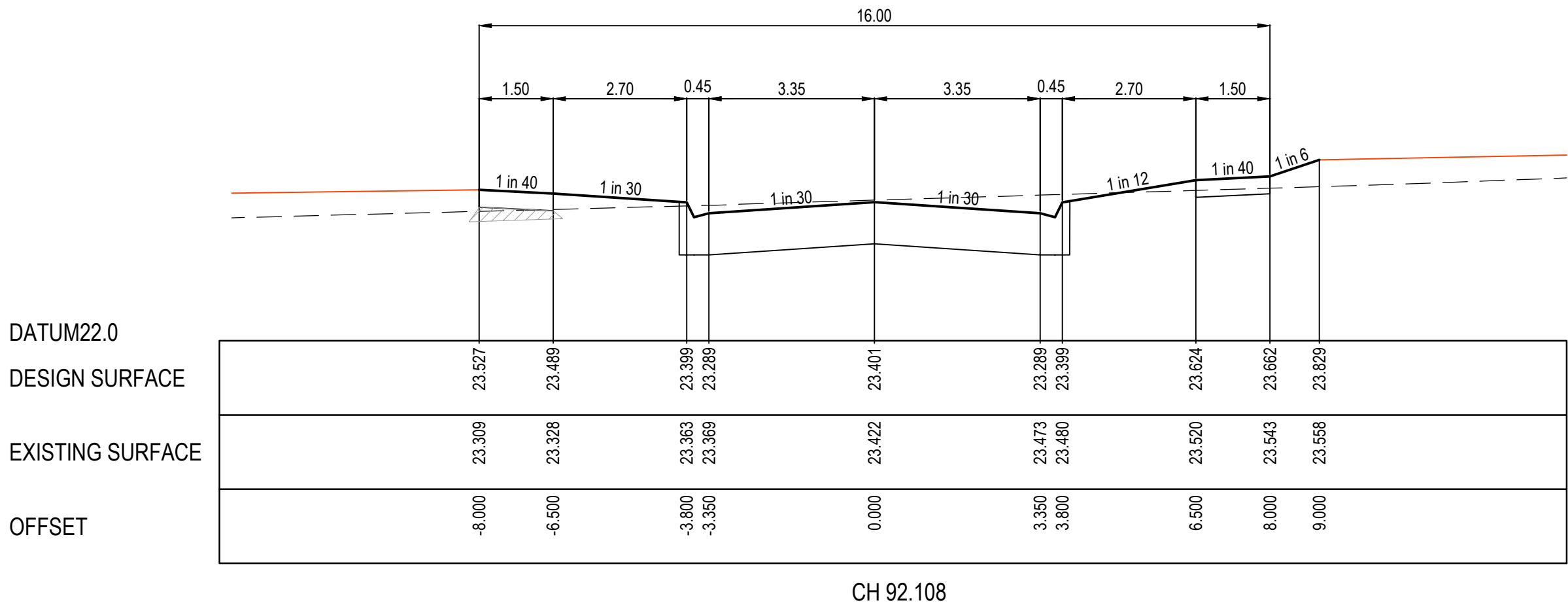
STRUCTURAL FILL REQUIRED UNDER PAVEMENT AND FOOTPATHS WHERE CONSTRUCTED ABOVE NATURAL SURFACE. REFER GEOTECH REPORT FOR SPECIFICATION

LEGEND

EXISTING SURFACE

DESIGN SURFACE

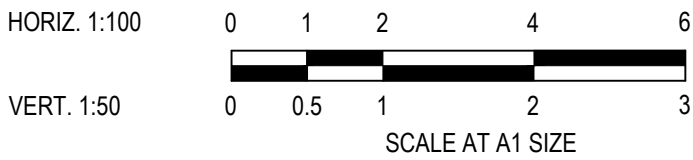
STRUCTURAL FILL



GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 17 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

NOTE: THIS IS NOT A BUILDING APPROVAL



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P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	RC															
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P3	AMENDED STAGE BOUNDARY	31.05.23	LR	RC															
P2	ISSUED FOR CONSTRUCTION	04.04.23	GS	RC															
P1	ISSUED FOR INFORMATION	14.02.23	GS	RC															
REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP										

ASHBURY

ARMSTRONG CREEK



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
Date	14.02.2023
PS Number	-

BWBeveridge Williams

Development & Infrastructure Consultants

Level 1 /122 Yarra St
Geelong VIC 3220

ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	DEEPWATER AVENUE CROSS SECTIONS SHEET 2 OF 2

Sheet 17 of 24			
Scale 1:100 H 1:50 V @ A1			
Project Ref 1600047	Stage No 32	Drawing No 207	Rev P5



SIGN SCHEDULE

IDENTIFIER	NUMBER	SIGN	QUANTITY
S3	D4-5		4
S4	G9-20		4

SIGNS SHALL BE LOCATED SUCH THAT THE EDGE OF THE SIGN IS MINIMUM 0.5m BEHIND THE KERB INVERT.

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 18 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

NOTE: THIS IS NOT A BUILDING APPROVAL

- NOTES
- RRPM'S AT MAX 6m SPACING.
 - LINEMARKING TO BE EXTENDED AT LEAST 6m FROM THE TANGENT POINT
 - LINEMARKING IN ACCORDANCE WITH AS1742.
 - TGSI TO BE INSTALLED IN ACCORDANCE WITH VICROADS RDN 06-06 - JULY 2010
 - ALL STREET NAME SIGNS AT INTERSECTIONS TO INCLUDE RELEVANT STREET NUMBERING.
 - ALL LINE MARKING PAINT SHALL BE THERMOPLASTIC MATERIAL.



SCALE 1:200 AT A1 SIZE

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P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	RC
P4	AMENDED PAVEMENT DETAIL	03.06.24	LR	RC
P3	AMENDED STAGE BOUNDARY	31.05.23	LR	RC
P2	ISSUED FOR CONSTRUCTION	04.04.23	GS	RC
P1	ISSUED FOR INFORMATION	14.02.23	GS	RC

REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP
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ASHBURY
» ARMSTRONG CREEK «



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
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PS Number	-



Beveridge Williams

Development & Infrastructure Consultants

Level 1 /122 Yarra St
Geelong VIC 3220

ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details
ASHBURY ESTATE
STAGE 32
CITY OF GREATER GEELONG

Drawing Title
SIGNAGE & LINE MARKING PLANS
SHEET 1 OF 2

Sheet 18 of 24

Scale
1:200 @ A1

Project Ref	Stage No	Drawing No	Rev
1600047	32	350	P5



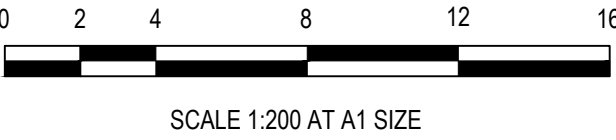


GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 19 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

NOTE: THIS IS NOT A BUILDING APPROVAL

- NOTES
- RRPM'S AT MAX 6m SPACING.
 - LINEMARKING TO BE EXTENDED AT LEAST 6m FROM THE TANGENT POINT
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REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP																																																												

ASHBURY
» ARMSTRONG CREEK «



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
Date	14.02.2023
PS Number	-

BW

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Development & Infrastructure Consultants

Level 1 /122 Yarra St
Geelong VIC 3220

ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	SIGNAGE & LINE MARKING PLANS SHEET 2 OF 2

Sheet 19 of 24			
Scale	1:200 @ A1		
Project Ref	Stage No	Drawing No	Rev
1600047	32	351	P5

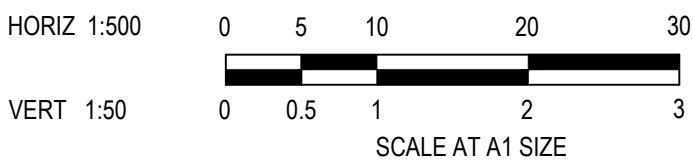
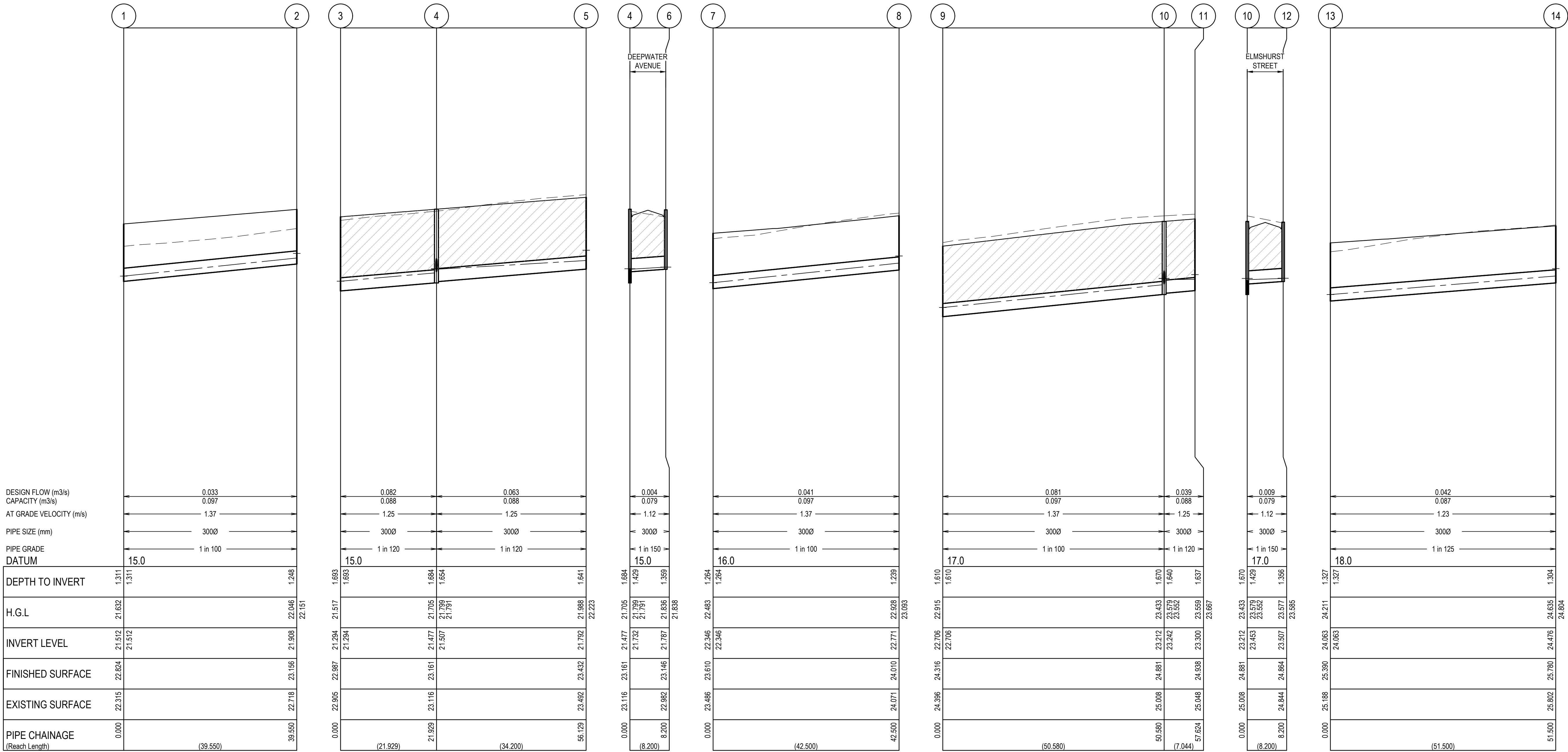
GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 20 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

NOTE: THIS IS NOT A BUILDING APPROVAL

NOTES:
ALL STORMWATER DRAINS UP TO AND
INCLUDING 750mm DIA. ARE TO BE CLASS 2
R.R.J. PIPES UNLESS NOTED OTHERWISE.

LEGEND	
	EXISTING SURFACE
	DESIGN SURFACE
	DRAINAGE PIPE/PIT
	EXISTING DRAINAGE PIPE/PIT
	HYDRAULIC GRADE LINE
	DENOTES 20mm CLASS 3 FCR BACKFILL.



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REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.
P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	RC					
P4	AMENDED PAVEMENT DETAIL	03.06.24	LR	RC					
P3	AMENDED STAGE BOUNDARY	31.05.23	LR	RC					
P2	ISSUED FOR CONSTRUCTION	04.04.23	GS	RC					
P1	ISSUED FOR INFORMATION	14.02.23	GS	RC					

ASHBURY
» ARMSTRONG CREEK «



Designed
Date
Drawn
Checked
Date
Approved
Reg. No.
Date
PS Number

N.ZHANG
19.01.2023
L.SUTHERLAND
R.CROSS
14.02.2023
R.CROSS
PE0005562
14.02.2023
-



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Development & Infrastructure Consultants

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Geelong VIC 3220

ph: 03 9524 8888
www.beveridgewilliams.com.au

Project
Details

ASHBURY ESTATE
STAGE 32
CITY OF GREATER GEELONG

Drawing
Title

DRAINAGE LONGITUDINAL SECTIONS
SHEET 1 OF 2

Sheet 20 of 24

Scale
1:500 H 1:50 V @ A1

Project Ref	Stage No	Drawing No	Rev
1600047	32	400	P5

\\geesbo1\jobs\1600047 Ashbury_Eng\Stage 32\Drawings\1600047-32-400-DLS.dwg

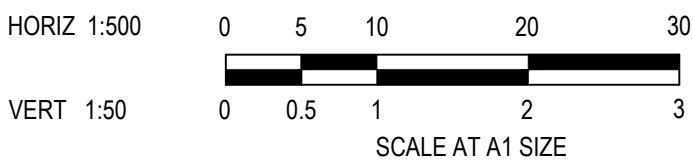
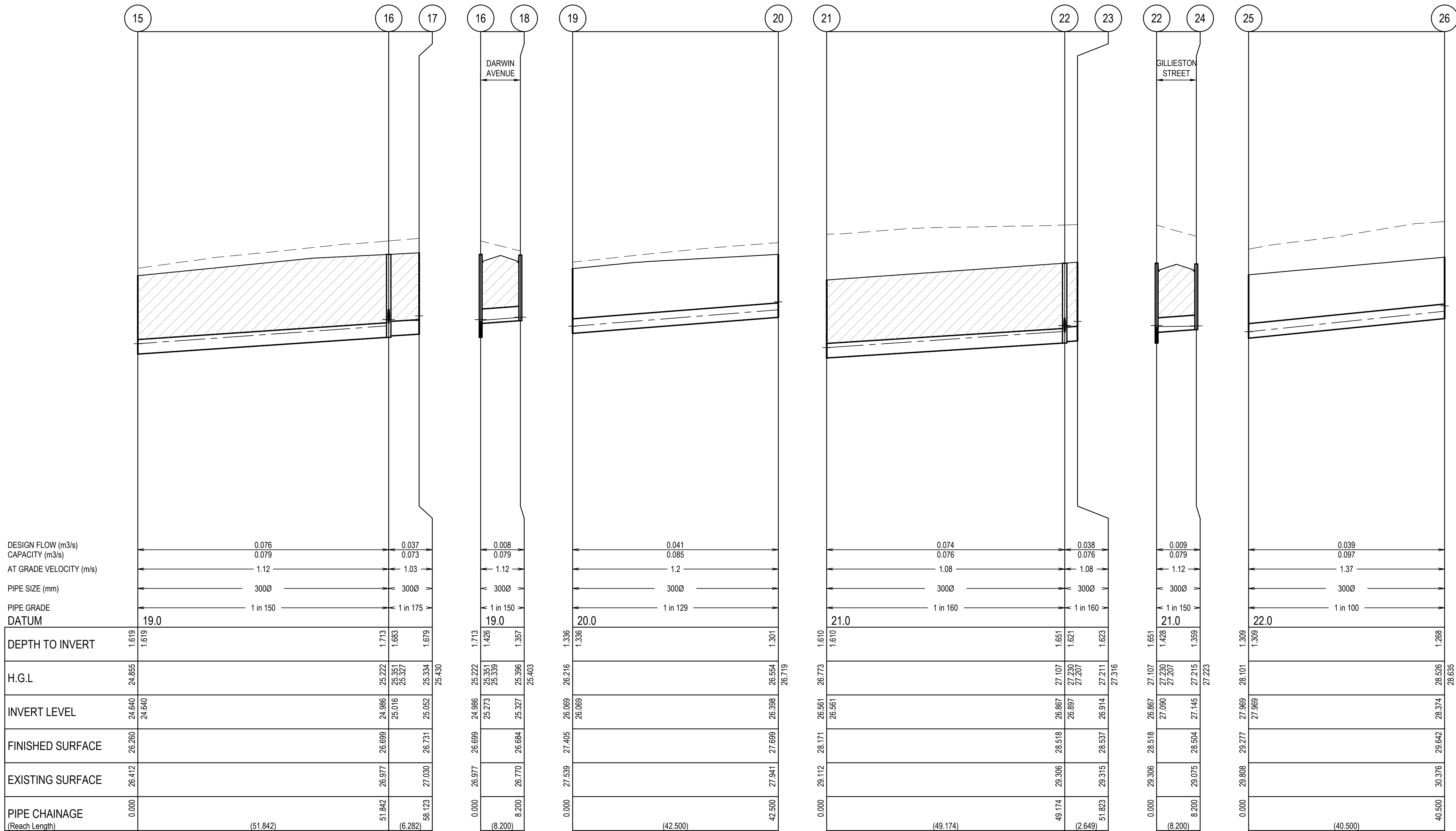
GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 21 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

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NOTES:
ALL STORMWATER DRAINS UP TO AND
INCLUDING 750mm DIA. ARE TO BE CLASS 2
R.R.J. PIPES UNLESS NOTED OTHERWISE.

LEGEND	
	EXISTING SURFACE
	DESIGN SURFACE
	DRAINAGE PIPE/PIT
	EXISTING DRAINAGE PIPE/PIT
	HYDRAULIC GRADE LINE
	DENOTES 20mm CLASS 3 FCR BACKFILL.



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P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	RC						
P4	AMENDED PAVEMENT DETAIL	03.06.24	LR	RC						
P3	AMENDED STAGE BOUNDARY	31.05.23	LR	RC						
P2	ISSUED FOR CONSTRUCTION	04.04.23	GS	RC						
P1	ISSUED FOR INFORMATION	14.02.23	GS	RC						
REV	DESCRIPTION	DATE	DRN.	APP.	REV	DESCRIPTION	DATE	DRN.	APP.	

ASHBURY
ARMSTRONG CREEK



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
Date	14.02.2023
PS Number	-

BW Beveridge Williams

Development & Infrastructure Consultants

Level 1 /122 Yarra St
Geelong VIC 3220

ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details
ASHBURY ESTATE
STAGE 32
CITY OF GREATER GEELONG

Drawing Title
DRAINAGE LONGITUDINAL SECTIONS
SHEET 2 OF 2

Sheet 21 of 24

Scale
1:500 H 1:50 V @ A1

Project Ref	Stage No	Drawing No	Rev
1600047	32	401	P5

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		INTERNAL		INLET		OUTLET		PIT			
Name	TYPE	WD	LEN	DIA	INV LEV	DIA	INV LEV	SETOUT RL	DEPTH	STANDARD DRAWING	REMARKS
1	END OF LINE			300	21.512			22.824	1.311		CONNECT TO EXISTING END PIPE.
2	END OF LINE					300	21.908	23.156	1.248		CAP END PIPE FOR FUTURE CONNECTION, MARK LOCATION AT SURFACE.
3	END OF LINE			300	21.294			22.987	1.693		CONNECT TO EXISTING END PIPE.
4	SIDE ENTRY PIT	600	900	300 300	21.507 21.732	300	21.477	23.161	1.684	IDM SD430	CLASS D COVER
5	END OF LINE					300	21.792	23.432	1.641		CAP END PIPE FOR FUTURE CONNECTION, MARK LOCATION AT SURFACE.
6	SIDE ENTRY PIT	600	900			300	21.787	23.146	1.359	IDM SD430	CLASS D COVER
7	END OF LINE			300	22.346			23.61	1.264		CONNECT TO EXISTING END PIPE.
8	END OF LINE					300	22.771	24.01	1.239		CAP END PIPE FOR FUTURE CONNECTION, MARK LOCATION AT SURFACE.
9	END OF LINE			300	22.706			24.316	1.61		CONNECT TO EXISTING END PIPE.
10	SIDE ENTRY PIT	600	900	300 300	23.242 23.453	300	23.212	24.881	1.67	IDM SD430	CLASS D COVER
11	END OF LINE					300	23.3	24.938	1.637		CAP END PIPE FOR FUTURE CONNECTION, MARK LOCATION AT SURFACE.
12	SIDE ENTRY PIT	600	900			300	23.507	24.864	1.356	IDM SD430	
13	END OF LINE			300	24.063			25.39	1.327		CONNECT TO EXISTING END PIPE.
14	END OF LINE					300	24.476	25.78	1.304		CAP END PIPE FOR FUTURE CONNECTION, MARK LOCATION AT SURFACE.
15	END OF LINE			300	24.64			26.26	1.619		CONNECT TO EXISTING END PIPE.
16	SIDE ENTRY PIT	600	900	300 300	25.016 25.273	300	24.986	26.699	1.713	IDM SD430	CLASS D COVER
17	END OF LINE					300	25.052	26.731	1.679		CAP END PIPE FOR FUTURE CONNECTION, MARK LOCATION AT SURFACE.
18	SIDE ENTRY PIT	600	900			300	25.327	26.684	1.357	IDM SD430	CLASS D COVER
19	END OF LINE			300	26.069			27.405	1.336		CONNECT TO EXISTING END PIPE.
20	END OF LINE					300	26.398	27.699	1.301		CAP END PIPE FOR FUTURE CONNECTION, MARK LOCATION AT SURFACE.
21	END OF LINE			300	26.561			28.171	1.61		CONNECT TO EXISTING END PIPE.
22	SIDE ENTRY PIT	600	900	300 300	26.897 27.09	300	26.867	28.518	1.651	IDM SD430	CLASS D COVER
23	END OF LINE					300	26.914	28.537	1.623		CAP END PIPE FOR FUTURE CONNECTION, MARK LOCATION AT SURFACE.
24	SIDE ENTRY PIT	600	900			300	27.145	28.504	1.359	IDM SD430	CLASS D COVER
25	END OF LINE			300	27.969			29.277	1.309		CONNECT TO EXISTING END PIPE.
26	END OF LINE					300	28.374	29.642	1.268		CAP END PIPE FOR FUTURE CONNECTION, MARK LOCATION AT SURFACE.

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
Certification No: 15917
Sheet 22 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

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P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	RC																
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REV	DESCRIPTION	DATE	DRN	APP	REV	DESCRIPTION	DATE	DRN	APP											

ASHBURY

» ARMSTRONG CREEK «



Designed	N.ZHANG
Date	19.01.2023
Drawn	L.SUTHERLAND
Checked	R.CROSS
Date	14.02.2023
Approved	R.CROSS
Reg. No.	PE0005562
Date	14.02.2023
PS Number	-

Beveridge Williams

Development & Infrastructure Consultants

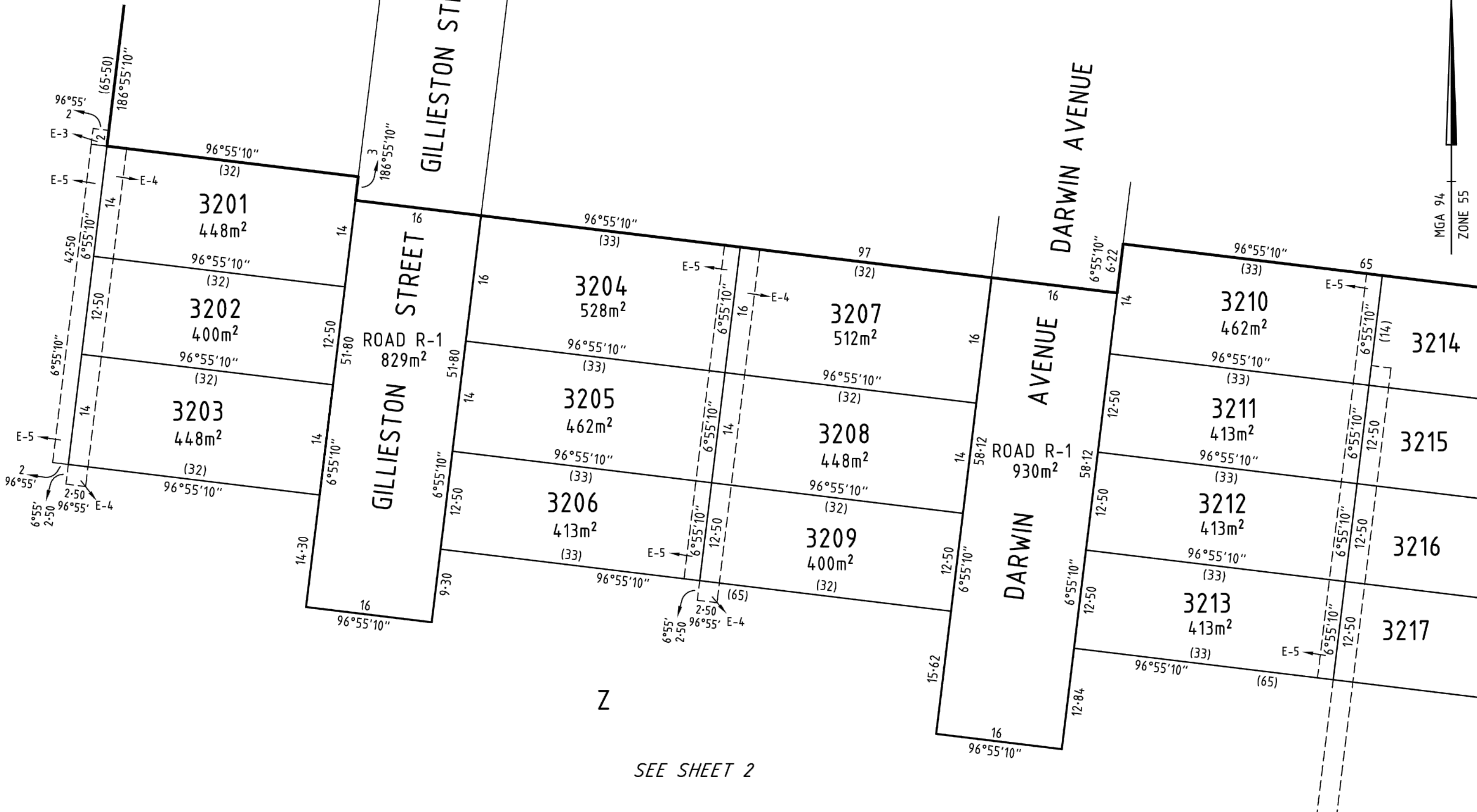
Level 1 /122 Yarra St
Geelong VIC 3220

ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG		
	PIT SCHEDULE		
Drawing Title	Project Ref	Stage No	Drawing No
	1600047	32	402

Sheet 22 of 24			
Scale			
NOT TO SCALE			
Project Ref	Stage No	Drawing No	Rev
1600047	32	402	P5

PS913018Q



GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-201
Certification No: 15917
Sheet 23 of 24
Approved By Adam Farrimond
Approved Date 5/07/2024

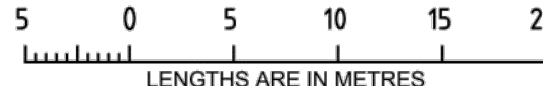
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SURVEYOR'S FILE REF: 310481SV00

spiire

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Geelong Vic 3220
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SCAL
1: 500



ORIGINAL SHEET
SIZE: A3

SHEET

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Version: 2

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Sheet 23 of 24

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1600047 32 450 P5

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P5	ISSUED FOR CONSTRUCTION	02.07.24	GS	1
P4	AMENDED PAVEMENT DETAIL	03.06.24	LR	1
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P2	ISSUED FOR CONSTRUCTION	04.04.23	GS	1
P1	ISSUED FOR INFORMATION	14.02.23	GS	1

REV	DESCRIPTION	DATE	DRN.	A
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ASHBURY

ARMSTRONG CREEK



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Development & Infrastructure Consultants

Level 1 /122 Yarra St
Geelong VIC 3220

ph: 03 9524 8888
www.beveridgewilliams.com.au

Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	PLAN OF SUBDIVISION SHEET 1 OF 2

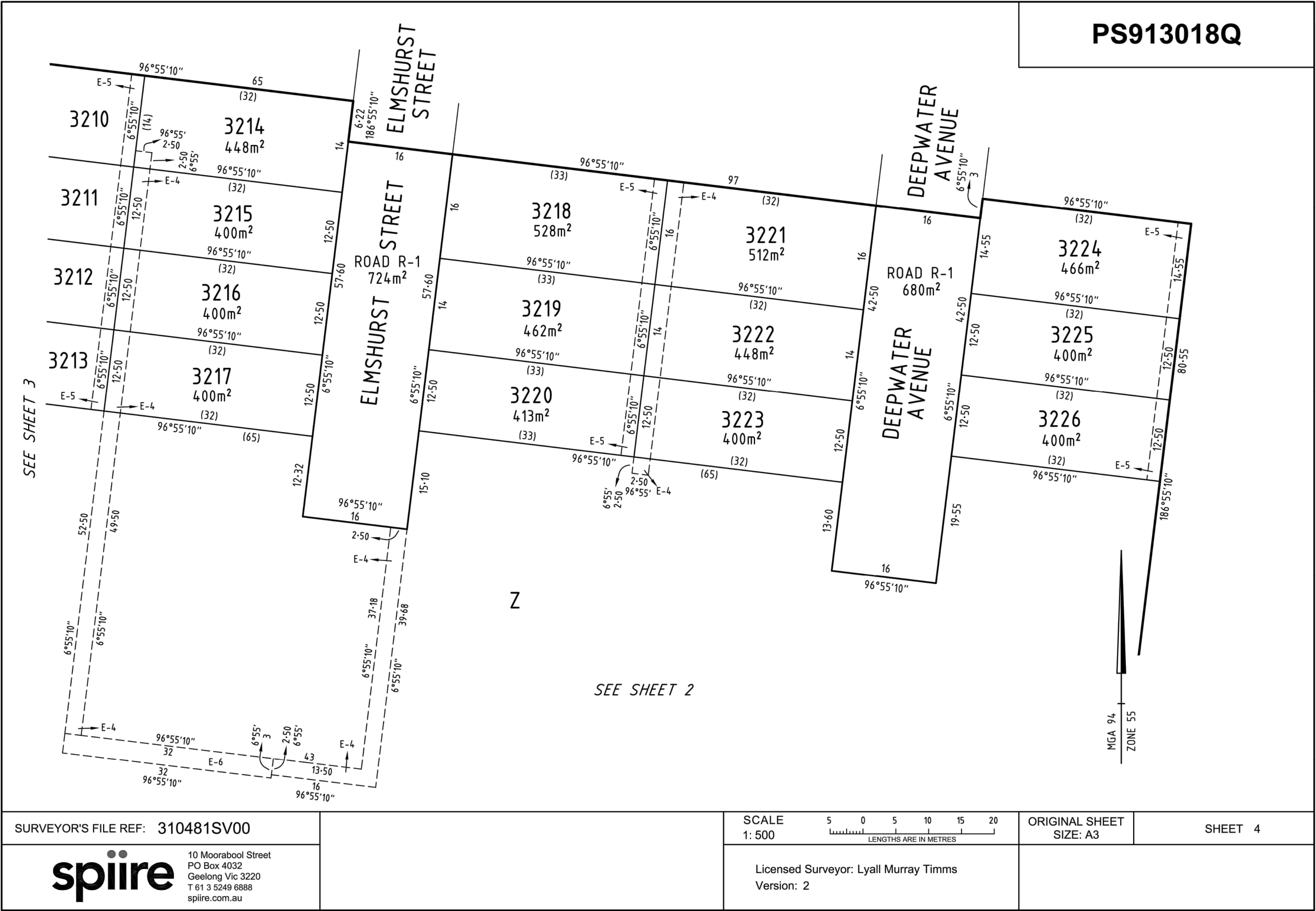
Project Ref	Stage No	Drawing No	Rev
1600047	32	450	P5

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GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-939-2014
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Sheet 24 of 24
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Project Details	ASHBURY ESTATE STAGE 32 CITY OF GREATER GEELONG
Drawing Title	PLAN OF SUBDIVISION SHEET 2 OF 2

Sheet 24 of 24		NOT TO SCALE	
Project Ref	Stage No	Drawing No	Rev
1600047	32	451	P5